

18 February 2021

Addendum 1

Morehead City Country Club  
Clubhouse  
Morehead City, NC

The following addendum shall supersede previous information and does hereby become part of the contract documents.

- Please note that this set of drawings was set up to be a team build method of delivery where the Owner, Architect, and Contractor review all selections and material specifications and agree on the quality of all selections. This set was not intended to be a bid set. Any assumptions or allowances by the Contractor to be clearly identified in any pricing.
- See attached BD-1 for Office Window/Mechanical Platform Detail.
- See attached BD-2 for Second Level Porch Flashing Detail.
- See attached BD-3 for Revised Men Toilet 305.
- See attached BD-4 for Roof Ladder Location.
- See attached BD-5 for Revised Perimeter Roof Top Rail Detail.
- Please note BD-6 (clarifications for interior stair) will be issued in Addendum 2.
- See attached BD-7 for Revised size of I.T. 101.2.
- Sheet A-1.3 Main Roof Plan, all HVAC equipment to be mounted on elevated galv. steel or aluminum roof rack. Package units to be packaged on curbs. Roofing note 18 refers to Roofing Contractor to provide any required temporary roofing metal roofing and TPO roofing manufacturer to provide all engineering for uplift and connections.
- Sheet A-1: Wall to window transition, window contractor to provide aluminum trim filler.
- Lockers in Rooms 209, 210 to be lockable, all keyed different.
- Sheet A-2.1: Support all lay-in Kitchen lights at all four corners from the structure.
- Contractor to provide all blocking for Toilet Accessories, Millwork, Trim, Equipment, Audio/Visual etc. as required.
- 3/A-7.1: Drywall/metal stud Contractor to provide openings for return air louvers.
- 1/A-1.2: Provide step at gate to equipment yard from Roof Top Plaza to equipment area roof.
- Railing: Manufacturer to provide Engineering and Connection Details.
- ALL penetrations thru walls and sheathing to be caulked and sealed with peel and stick membrane.
- Contractor to dowel porch, lug footing to main wall of building footing together with #4 dowels at 32" OC (reference 1/A-5.4).
- Provide 2 ¼" cont. soffit vent in underside of 2<sup>nd</sup> porch deck EIFS (at 1<sup>st</sup> floor ceiling intersection with box beam).
- Provide 2 ¼" cont. soffit vent in underside of upper porch soffit (near box beam at mansard truss bearing location).
- All headers and corners to be insulated with insulation inserts or foamed.

- See attached BD-8 for Pergola Details (reference also A-5.13). Note: Add 6 posts/column covers near wall line 3.6 for Pergola bearing in lieu of bearing on exterior wall. (note: relocate door 302A to allow for installation of new column.)
- Drawing A-5.1: foam insulate raised Bar Floor area at Roof Top Level.
- Generator/Mech. Area to revise from 20'x12' to 20'x28'.

#### **PME Addendum 1,**

##### **Plumbing-**

1. Add 2<sup>nd</sup> sump pump with alarm panel for small elevator, tie in discharge to drain for original sump pump. Pump to match large elevator pump specified. See "SP" in plumbing fixture schedule on sheet P-1.

2. Delete roof drains RD-14, RD-15 and any associated drain piping connecting to mains.

3. Re-route roof drains to plan east (plan right) side and add 3 drop points (each to be 6" pipe size) thru floors to extend below grade to termination (daylight) same side:

RD-12 and RD-13 main changed to run plan west to east (below high roof) to drop in rooftop restroom/exterior wall, to tie in to main for RD-5 and RD-11 below rooftop level, and drops in plan east/right exterior wall to run below grade to termination

main piping changed to drain RD-6 thru RD-10, running plan west to east, and drops in plan east/right exterior wall to run below grade to termination

main piping for RD-1 thru RD-4 changed to run plan west to east, and drops in plan east/right exterior wall to run below grade to termination

4) Provide flush valve toilet equal to WC-1 instead of the (2) flush tank WC-2's shown on sheet P-2.3.

5) Extend gas line, concealed, to ventless fireplace as shown on 2<sup>nd</sup> floor, sheet P-3.2 as required. Size all lines as required for the fireplace provided.

##### **Mechanical-**

1. Sheet M-1.1 - HVAC Equipment Schedule: The programmable thermostats for each split system heat pump system shall have Wi-Fi connectivity to be internet enabled.  
Sheet M1.1 - Gas Pack Schedule. The programmable thermostat for each gas package unit shall have Wi-Fi connectivity to be internet enabled.

2. Sheet M-1.1 - Air Distribution Schedule: Add a type "H" diffuser. The diffuser shall be equal to Carnes model SESA40, with 10" diameter round neck, and 15" x 15" face, aluminum construction, 4-way blow, for gypsum board ceiling mount. Color selected by architect.

3. Sheet M-2.3 - Change Key Note #7 to the following: Roof Mounted Outdoor heat pump unit. Route refrigerant piping from unit concealed above ceiling and in walls to air handling unit. Provide all manufacturer's required clearances around unit. Mount unit on steel rack system. Rack system by General Contractor. See Architectural plans for rack system. Properly seal all roof penetrations so as not to void roof warranty.

4. Sheet M-2.3 - Change all type "F" linear diffusers to type "H" rectangular diffusers as specified in item #2 above. Change type "E" linear diffuser beside the elevator to type "H" rectangular diffuser. Change type "E" linear diffuser in Room 302 Foyer to type "C" rectangular diffuser from the Air distribution schedule on Sheet M-1.1.

#### Electrical-

1. Sheet E2.1:

The "LCP" designation in the spaces indicate a "KP", programmable key pad which ties into the main "LCP" lighting control panel located in storage room 106. Coordinate final location of LCP with engineer and architect prior to rough-in.

2. Sheet E2.2:

The "LCP" designation in the spaces indicate a "KP", programmable key pad which ties into the main "LCP" lighting control panel located in storage room 106

Provide (7) lighting fixtures (type G) on mechanical platform over the toilet/locker room area similar to 1<sup>st</sup> floor platform. Provide lighting indicator switch in room below platform. Provide an emergency light on platform tied to the local lighting circuit.

Provide a 1000 watt inverter adjacent to LCP to provide emergency power to all the type "C" can lights on the 2<sup>nd</sup> floor exterior porches to maintain an average of 1 foot-candle of lighting to the exits. The inverter shall be equal to a "Dual-Lite model DLS-1000-120-N-A-20"

3. Sheet E2.3:

Provide type "X" festoon, string lighting at pergola. Provide (2) 20 foot sections at each of the (6) posts for a total of 12 strings. See architectural plan for the pergola layout.

4. Sheet E3.1:  
Provide (2) GFI receptacles on the mech platform. Coordinate location with the HVAC equipment in the area.

Provide manufacturers required clearance for the stand-by generator in the "Mech Area". Coordinate with GC prior to start of work. Coordinate revised size of enclosure with Architectural plans. Locate 1200-amp service disconnect, CT cabinet and meter base on exterior wall of mech area enclosure. Provide 600 amp NEMA 3R ATS with-in the enclosure. See attached sketch.

5. Sheet E3.2:  
Provide (2) GFI receptacles on the mech platform. Coordinate location with the HVAC equipment in the area.

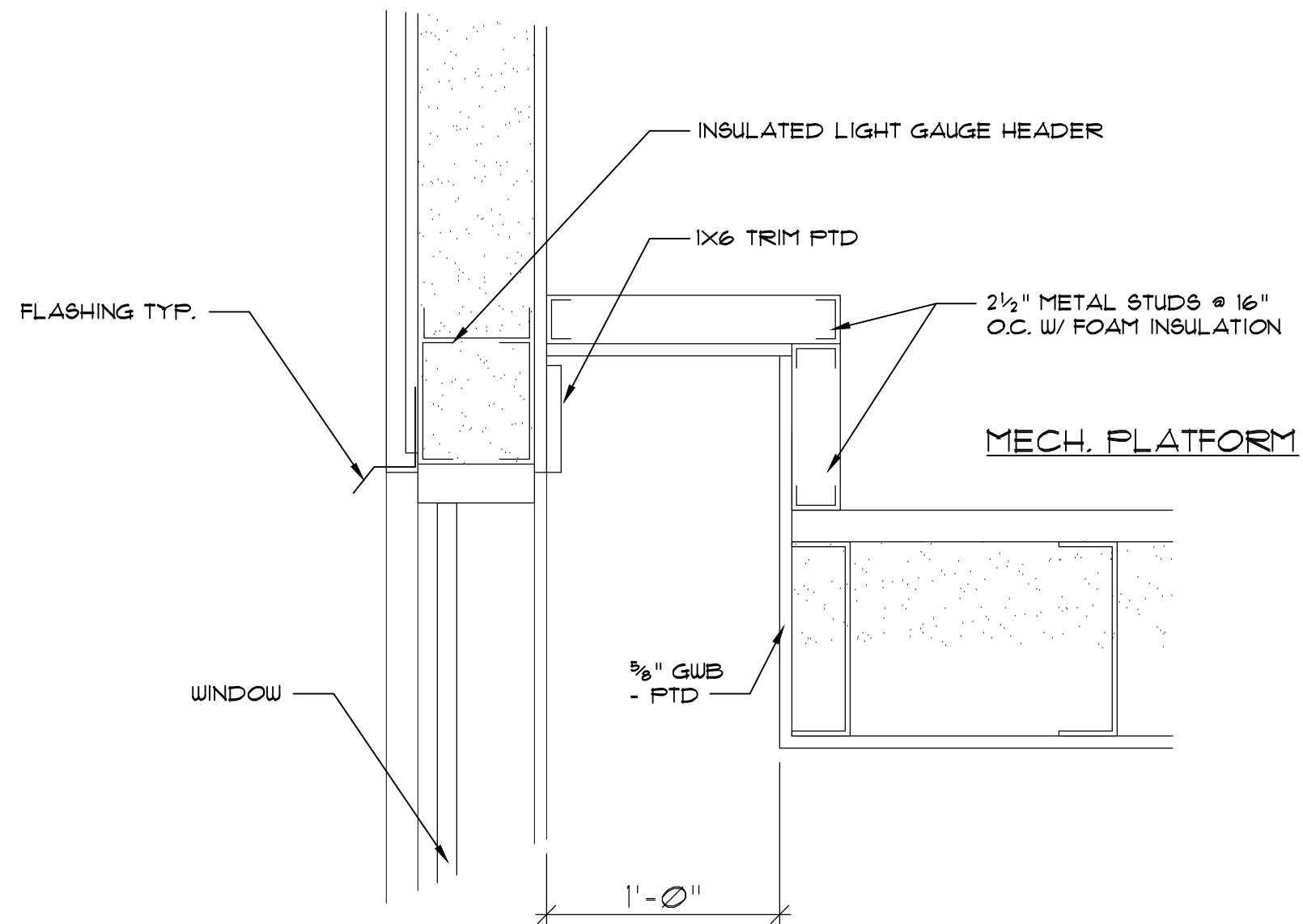
Provide (3) receptacles under exterior of bar in Member Lounge-205 for customer use. Receptacles shall have (2) USB ports. Locate under bar edge on customer side. Circuit to B-18.

6. Sheet E3.3:  
Provide (2) receptacles under exterior of bar in Indoor Bar-303 for customer use. Receptacles shall have (2) USB ports. Locate under bar edge on customer side. Circuit to B-14.

Provide (4) WP/GFI receptacles on parapet wall on Outdoor Rooftop Plaza-301. Circuit to B-20. Locate (4) WP/GFI on the Pergola columns. Circuit to B-12.

7. Sheet E5:  
The "ATS" shall be a 600-amp unit. ASCO #J-03ATS-B-3-600-C-GO-F.

**End of Addendum 1**



1  
BD-1

# OFFICE WINDOW/MECHANICAL PLATFORM DETAIL

SCALE: 1 1/2" = 1'-0"



- Architectural Design
- Planning
- Interiors



Member of the American  
Institute of Architects

Lee D. Dixon, Jr., AIA  
285.247.2127  
lee@coastalarchitecture.net

4206 Bridges St. Ext.,  
Suite C  
Morehead City, NC  
28557

www.CoastalArchitecture.net

MOREHEAD CITY COUNTRY CLUB  
CLUBHOUSE  
MOREHEAD CITY, NORTH CAROLINA

ADDENDUM 1

20010

ISSUED: 02/18/21

DWG BY: MES

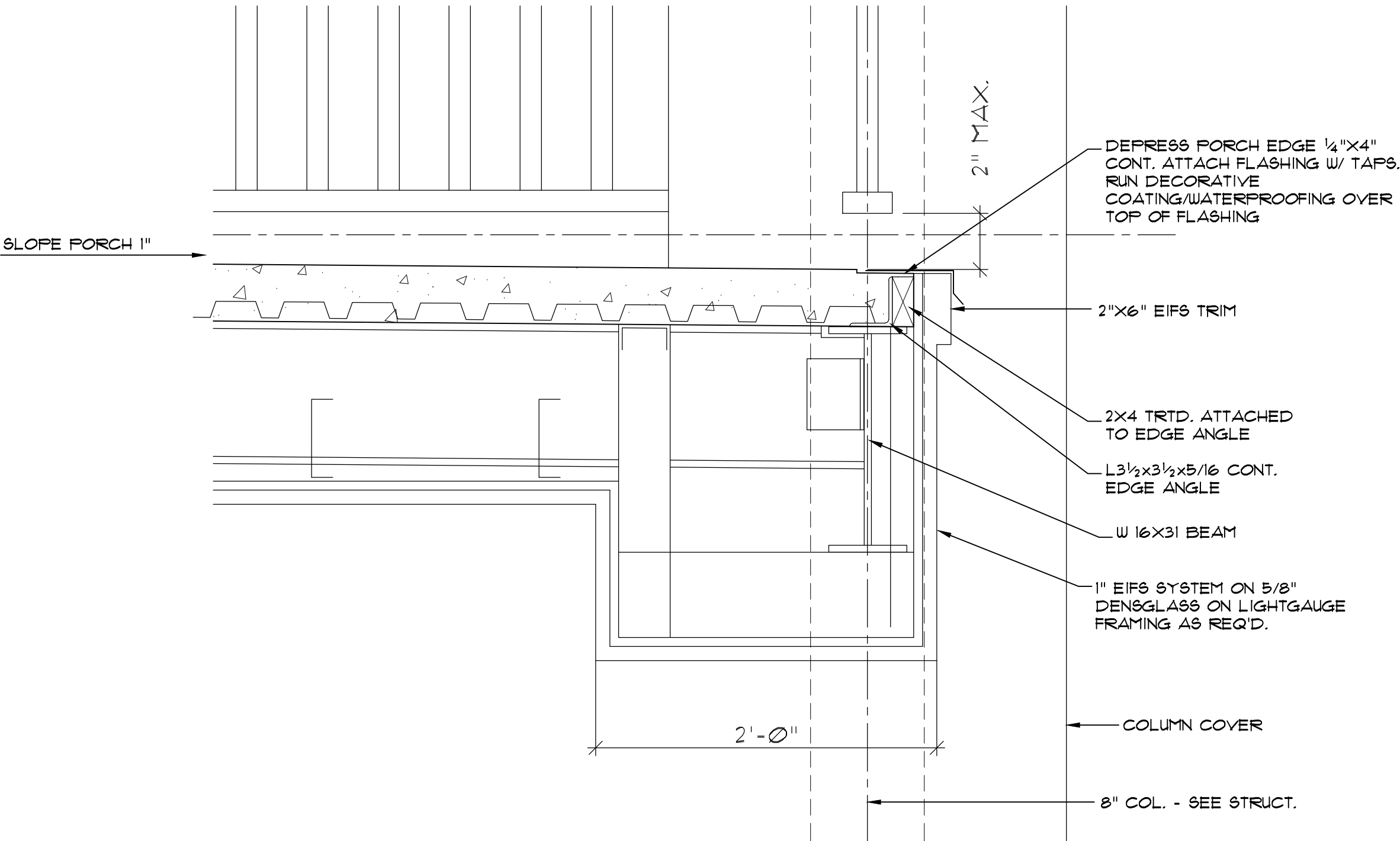
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REVISIONS


SHEET NO.

BD-1

OF 1



**SECOND LEVEL  
PORCH DETAIL**

1  
BD-2

SCALE: 1 1/2" = 1'-0"

**Coastal**  
Architecture

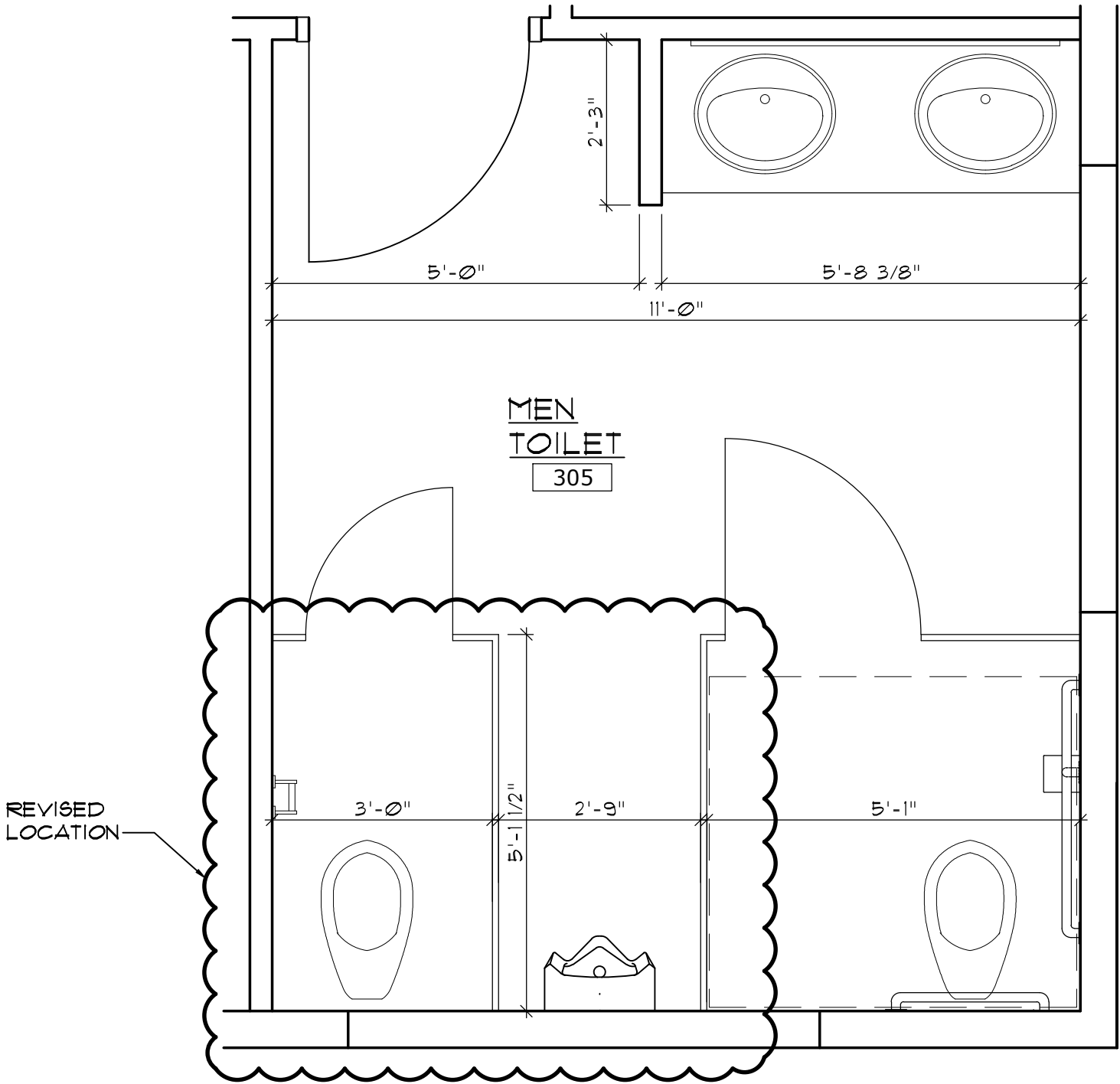
- Architectural Design
- Planning
- Interiors

**AIA**  
Member of the American Institute of Architects

Lee D. Dixon, Jr., AIA  
285.247.2127  
lee@coastalarchitecture.net  
4206 Bridges St. Ext., Suite C  
Morehead City, NC 28557  
www.CoastalArchitecture.net

**MOREHEAD CITY COUNTRY CLUB  
CLUBHOUSE**  
MOREHEAD CITY, NORTH CAROLINA

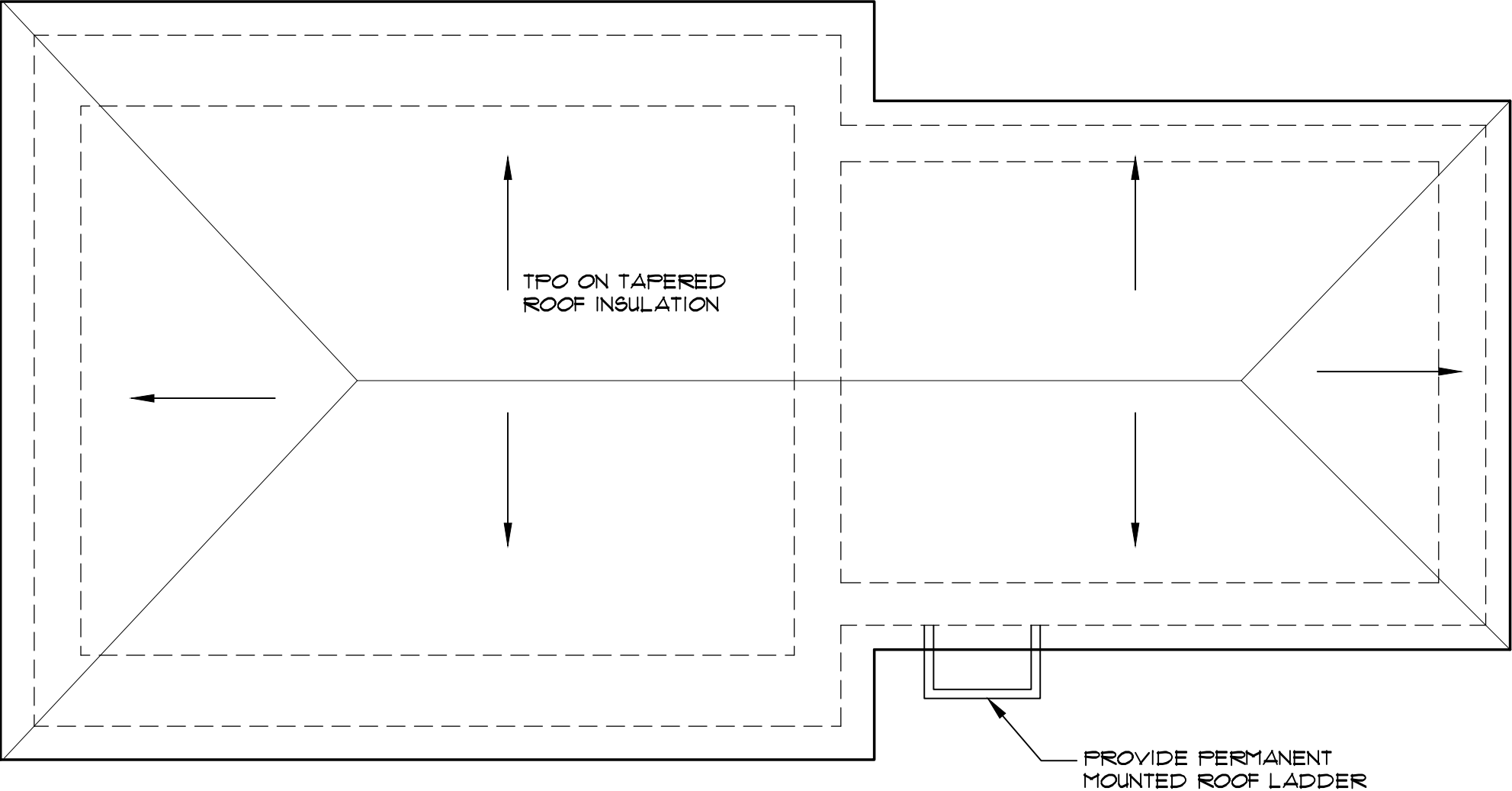
ADDENDUM 1	
20010	
ISSUED: 02/18/21	
DWG BY: MES	
CKD BY: LDD	
REVISIONS	
SHEET NO. BD-2	
OF 1	



1  
BD-3

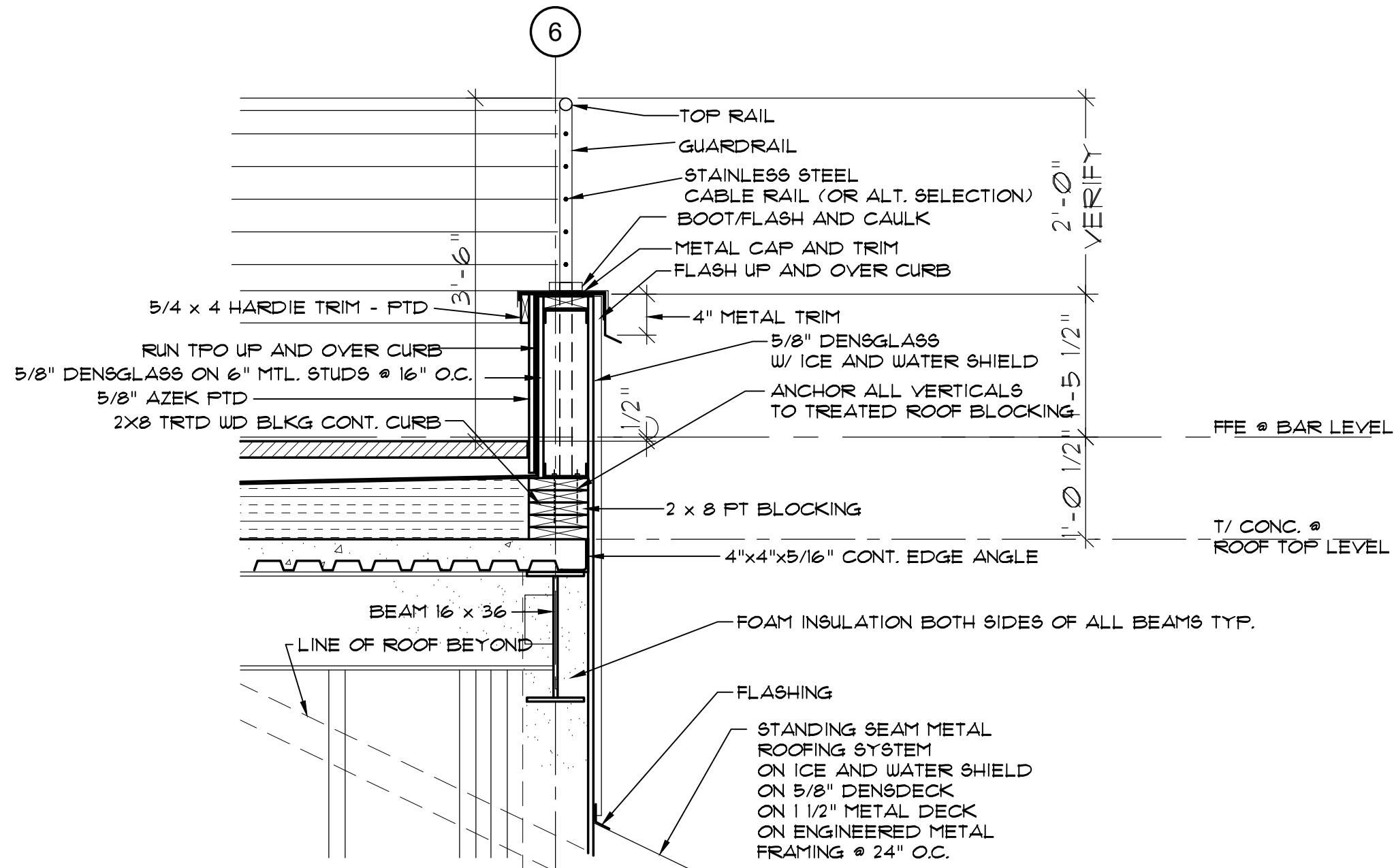
MEN'S TOILET

SCALE: 1/2" = 1' - 0"



# ROOF LADDER

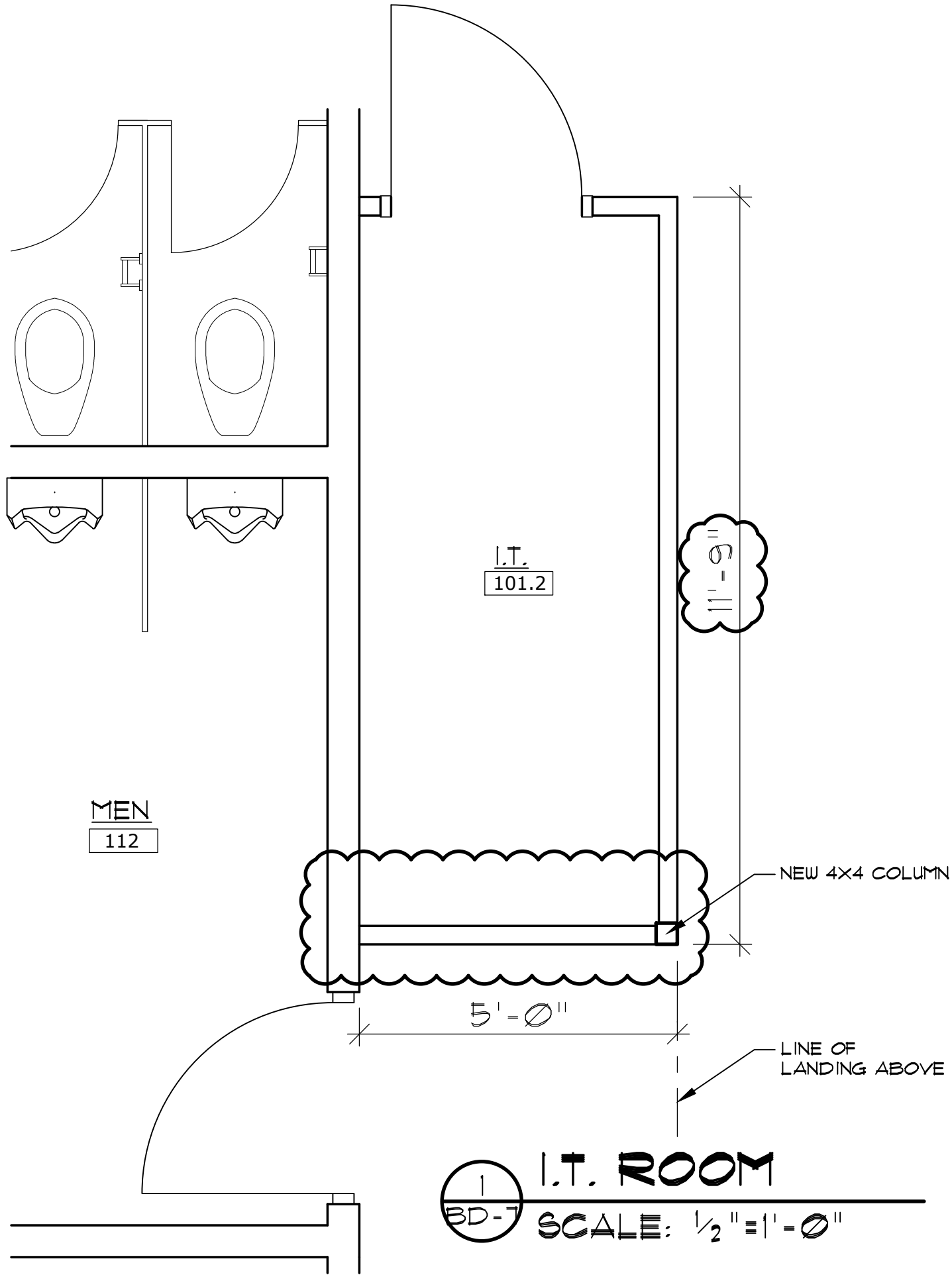
SCALE: 1/2" = 1' = 0"

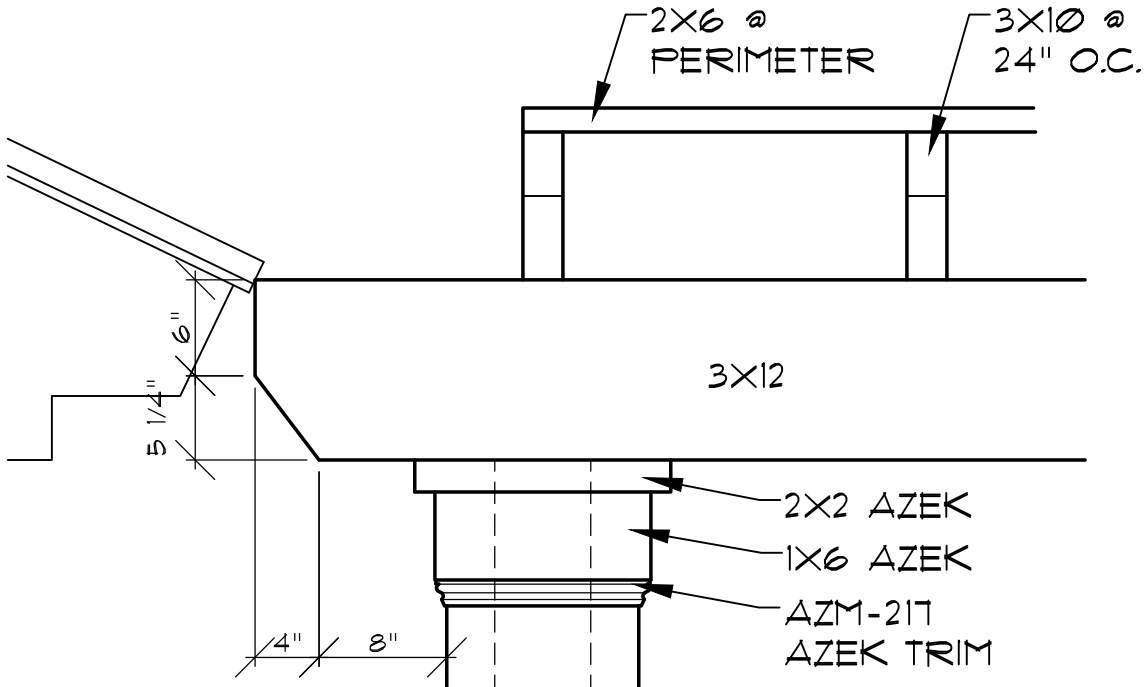


1  
BD-5

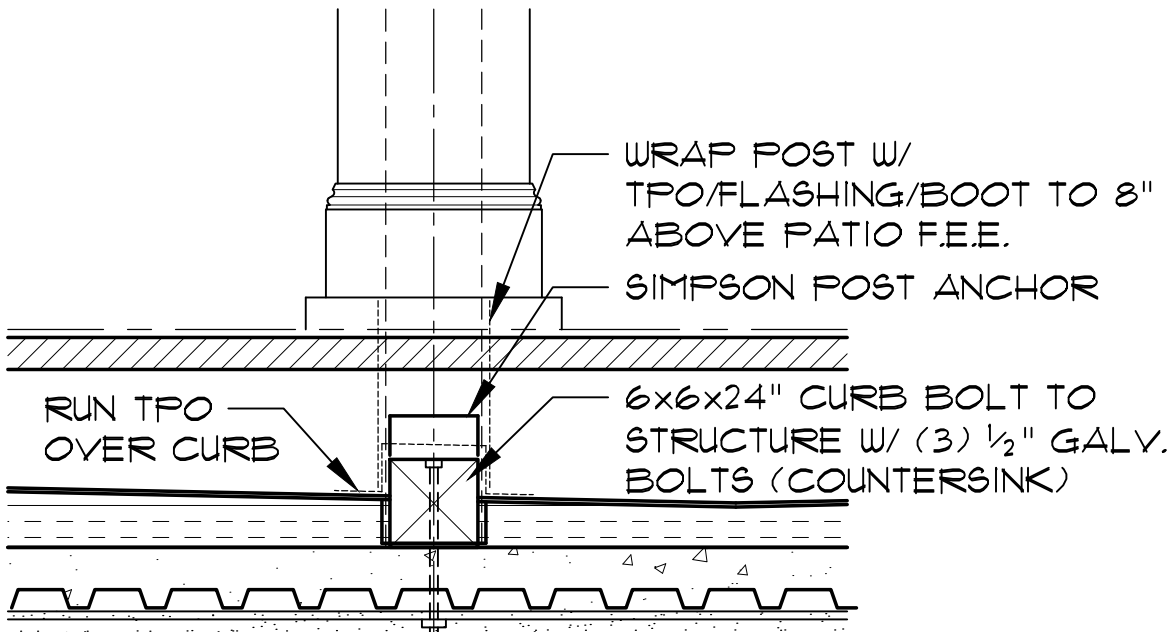
## ROOF TOP RAILING

SCALE: 3/4" = 1' = 0"





ADDITIONAL COLUMN AT  
BEARING NEAR WALL LINE



NOTE: REFERENCE  
ALSO A-5.13

BASE DTL.



**PERGOLA DETAIL**

SCALE: 1" = 1'-0"

ADDENDUM 1

**20010**

ISSUED: 02/18/21

DWG BY: MES

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REVISIONS

SHEET NO.

**BD-8**

OF 1

