

20 June, 2023

Addendum 1

Sandals Factory
Atlantic Beach BTS

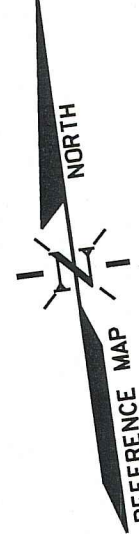
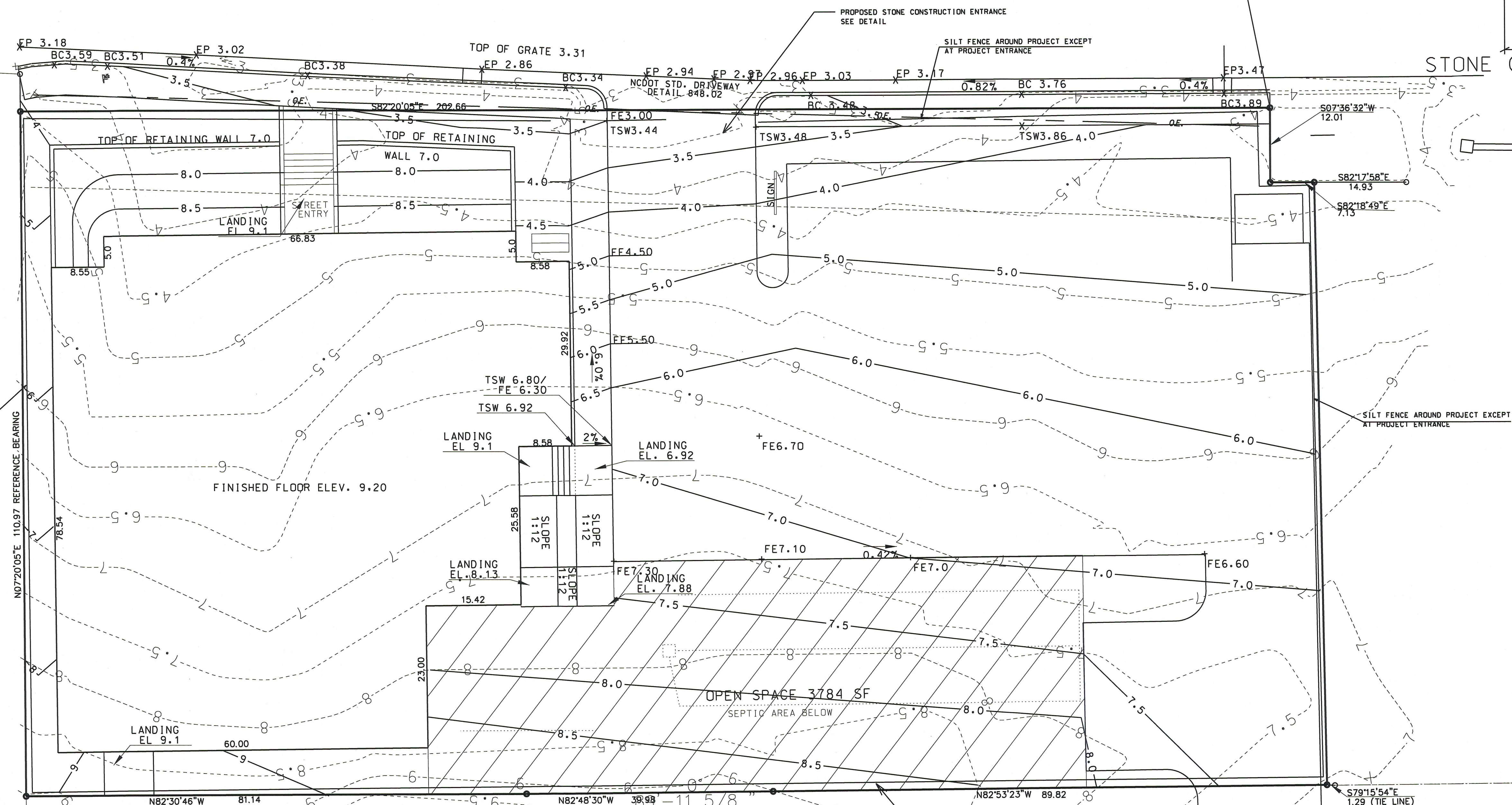
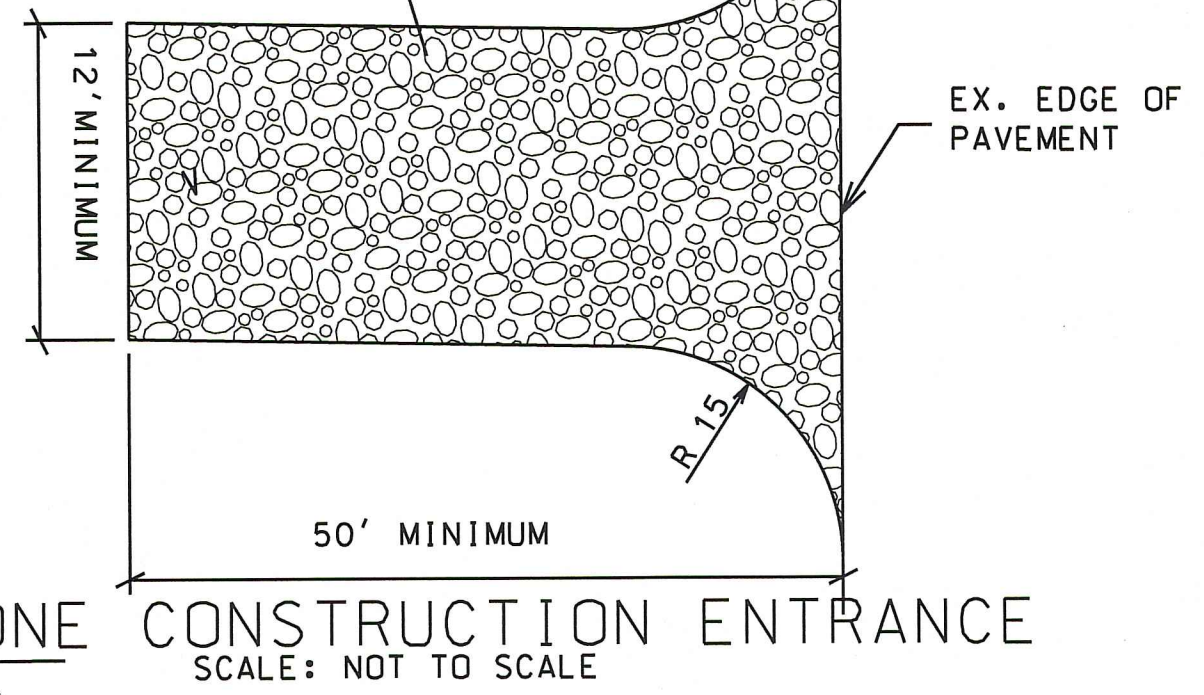
The following addendum shall supersede previous information and does hereby become part of the contract documents.

- Contractor to be responsible for all Permit Applications and costs.
- See revised Sheet 5 Grading Plan and Land Distribution Plan with Finish and Existing Grades.
- Clarification: G.C. to include Builders Risk in their bid.
- Bike rack on Site Plan to be Belson Outdoors 10 Grid Double Bike Rack, Black Model #: CBBR-10DG-BK with anchoring kit.
- Add R-19 batt insulation on the underside of roof deck.
- Clarification: Glass to be Impacted Rated, Low E, and Solar Gray.
- Windows/Storefront to be Old Castle FG-5750T StormMax 2-1/2" x 5" Impact Resistant Thermal Storefront – Dark Bronze or approved equal.
- LVP Allowance – Revise to \$6/sf (material only).
- S.A.T. to be Armstrong Dune Second Look Item 1772 Square Edge, 2x2, Color white with 15/16" white grid or approved equal.
- Clarification: This bid to include Demolition of the existing building and stie features. Owner will remove existing Asbestos prior to Demolition of existing building.

End of Addendum 1

SEE SURVEY FOR MGM PROPERTIES, LLC
BY TIDEWATER ASSOCIATES, INC. DATED 08/10/21

(6" THICK) 2-3 INCH WASHED STONE



SILT FENCE AROUND PROJECT EXCEPT AT PROJECT ENTRANCE

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- INSTALLATION NOTES:
1. THE BASE OF BOTH END POSTS SHOULD BE AT LEAST ONE FOOT HIGHER THAN THE MIDDLE OF THE FENCE. CHECK WITH A LEVEL IF NECESSARY.
 2. INSTALL POSTS 4 FEET APART IN CRITICAL AREAS AND 6 FEET APART ON STANDARD APPLICATIONS.
 3. INSTALL PILES 2 FEET DEEP ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT THE FABRIC FROM UPSTREAM WATER PRESSURE.
 4. INSTALL POSTS WITH THE NIPPLES FACING AWAY FROM THE SILT FABRIC.
 5. ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 8 INCHES OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1 INCH VERTICALLY APART. ALSO, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
 6. WRAP APPROXIMATELY 6 INCHES OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
 7. NO MORE THAN 24 INCHES OF A 36 INCH FABRIC IS ALLOWED ABOVE GROUND LEVEL.
 8. THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION.
 9. COMPACTION IS VITALLY IMPORTANT FOR EFFECTIVE RESULTS. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQUARE INCH. COMPACT THE UPSTREAM SIDE FIRST, AND THEN EACH SIDE TWICE FOR A TOTAL OF 4 TRIPS.

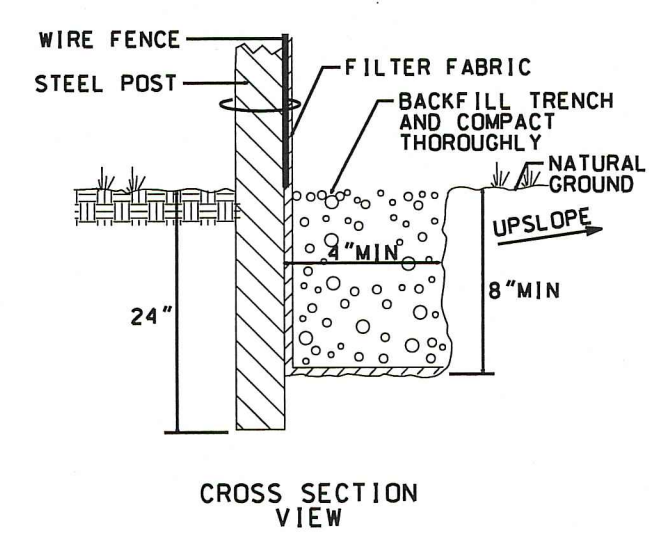
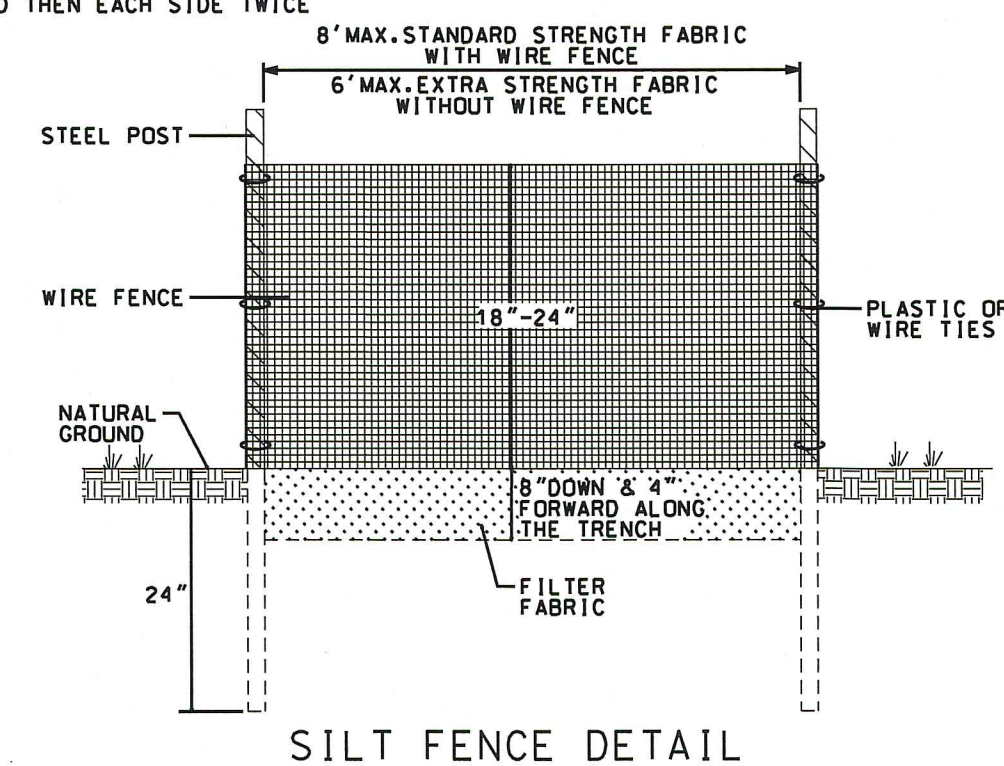
LEGEND

- EIR EXISTING IRON ROD
- EIP EXISTING IRON PIPE
- EPK EXISTING PK NAIL
- ECM EXISTING CONC. MON.
- ERRS EXISTING R/R SPIKE
- SIR SET IRON ROD
- CP CALCULATED POINT
- NHW NORMAL HIGH WATER
- N/F NDW OR FORMERLY
- MB MAP BOOK
- DB DEED BOOK
- PG PAGE
- PP POWER POLE
- LP LIGHT POLE
- DE OVERHEAD ELECTRIC
- ELEC ELECTRICAL PEDESTAL
- TRANS ELEC. TRANSFORMER
- TEL TELEPHONE PEDESTAL
- CATV CABLE TELEVISION
- WM WATER METER
- CO CLEAN OUT
- CPP CORRUGATED PLASTIC PIPE
- WV WATER VALVE
- FH FIRE HYDRANT
- SSMH SANITARY SEWER MANHOLE
- SMAG SET MAGNETIC NAIL
- OPEN SPACE

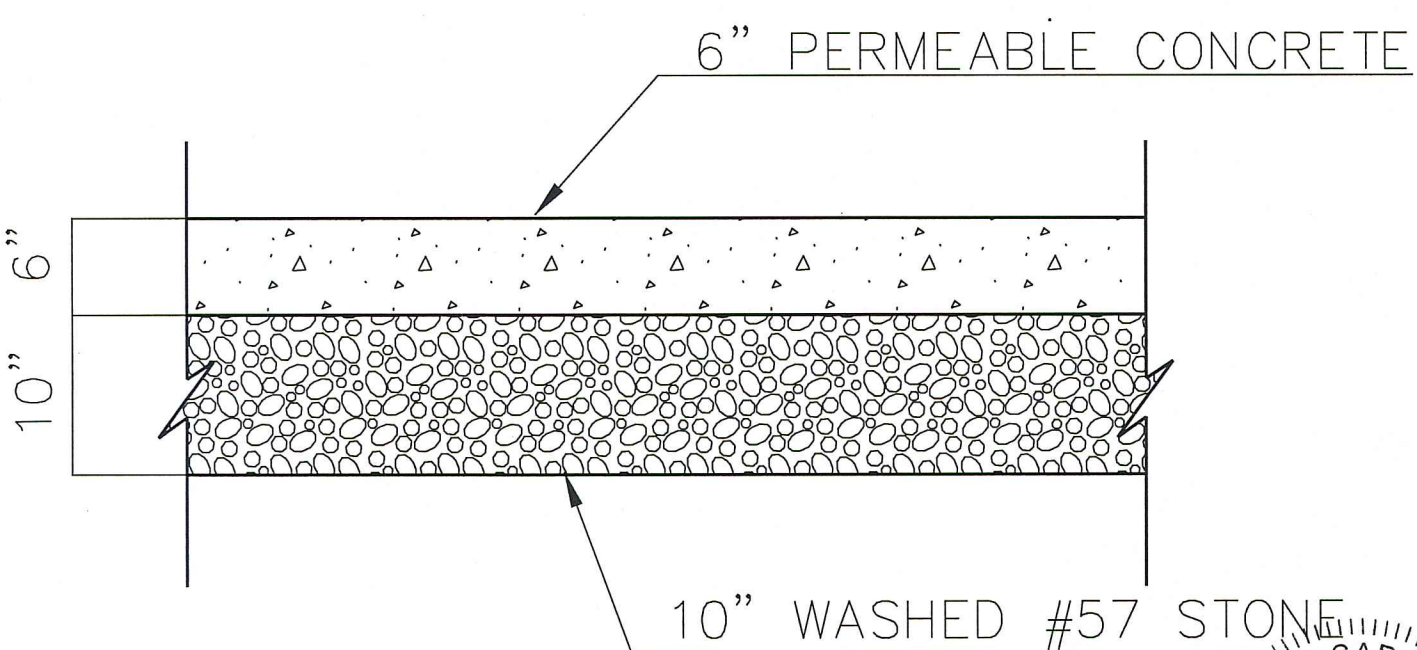
PERVIOUS CONCRETE
CONCRETE
7.0' PROPOSED CONTOUR
EXISTING CONTOUR
SHEET # 5 OF 8
PROJECT #: PM2735-009
DESIGN FILE #: HI-LITES CONSTRUCTION.DGN

MGM PROPERTIES LLC
108 WEST BOQUE BOULEVARD
637516933547000

FMB AT THE GROVE LLC
104 WEST BOQUE BOULEVARD
637516934591000



SCALE: 1"=10'



PERMEABLE CONCRETE DETAIL NTS



- Architectural Design
- Planning
- Interiors



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REVISIONS:

No.	BY	DATE	DESCRIPTION

GRADING PLAN & LAND DISTURBANCE PLAN
ATLANTIC BEACH BTS
115 WEST FORT MACON ROAD
ATLANTIC BEACH, CARTERET COUNTY, NORTH CAROLINA

CLIENT: AB SANDALS VENTURES LLC
ADDRESS: 8235 DOUGLAS AVE SUITE 350 DALLAS TX 75225
PHONE: 843-868-0067

DESIGNED: RDC
DRAWN: RDC
CHECKED: RDC
APPROVED: RDC

DATE: 3/2/23
SCALE: 1"=10'

THE CULLIPHER GROUP, P.A.
ENGINEERING & SURVEYING SERVICES
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RONALD D. CULLIPHER, P.E.