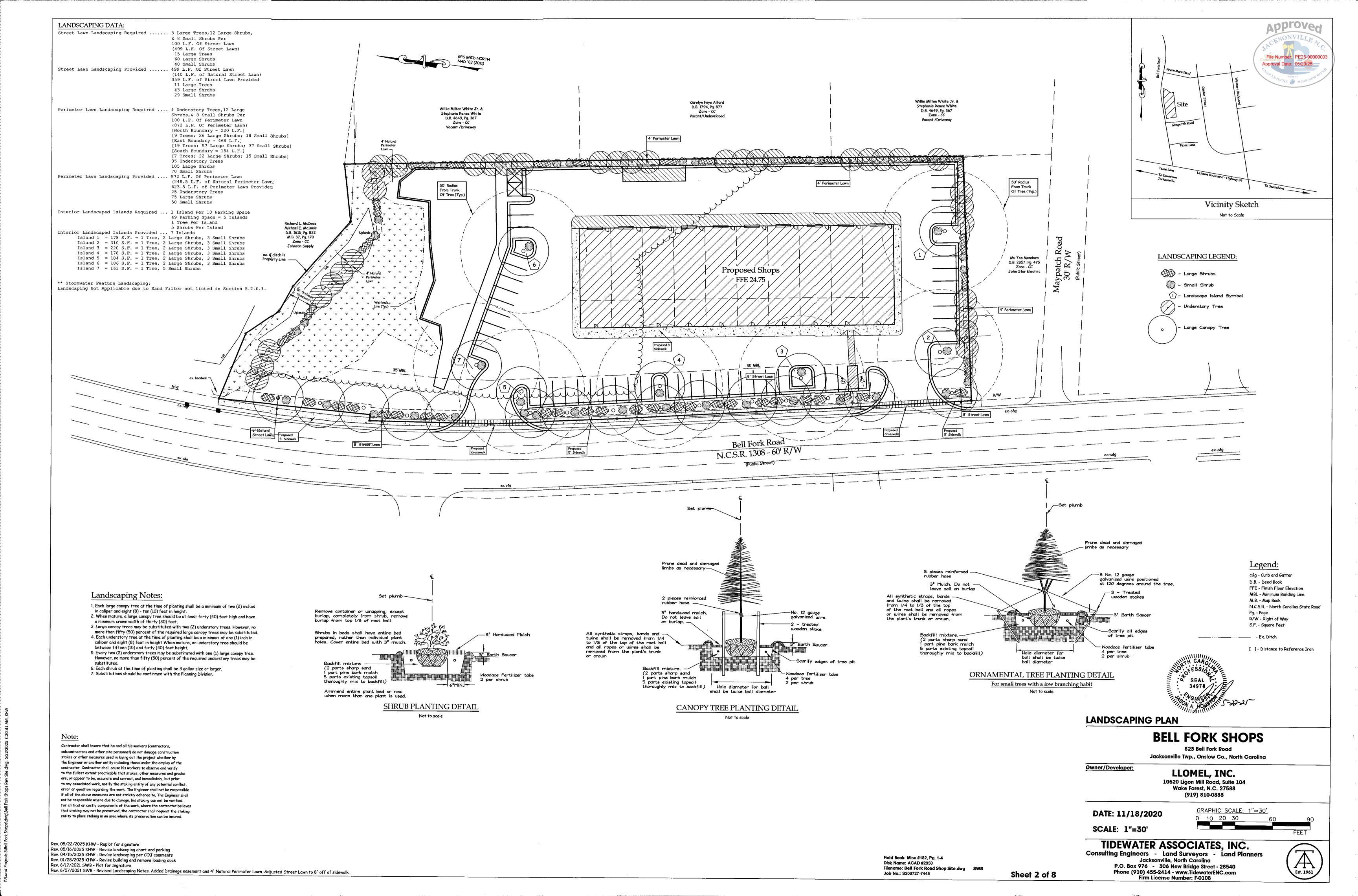
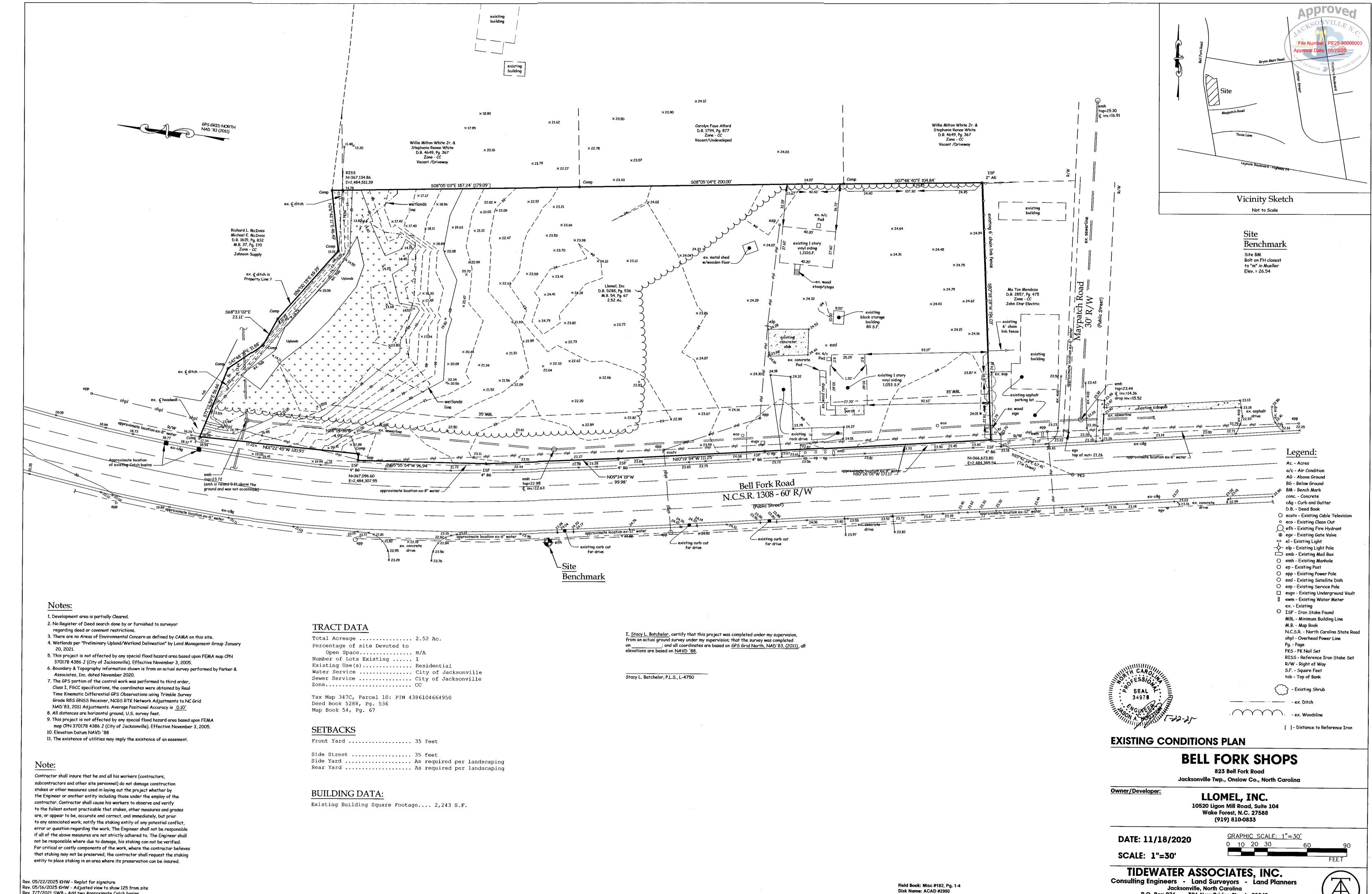


PDF processed with CutePDF evaluation edition www.CutePDF.com

Sheet 1 of 8

Firm License Number: F-0108





Rev. 7/7/2021 SWB - Add two Approximate Catch basins Rev. 6/17/2021 SWB - Plot for Signature

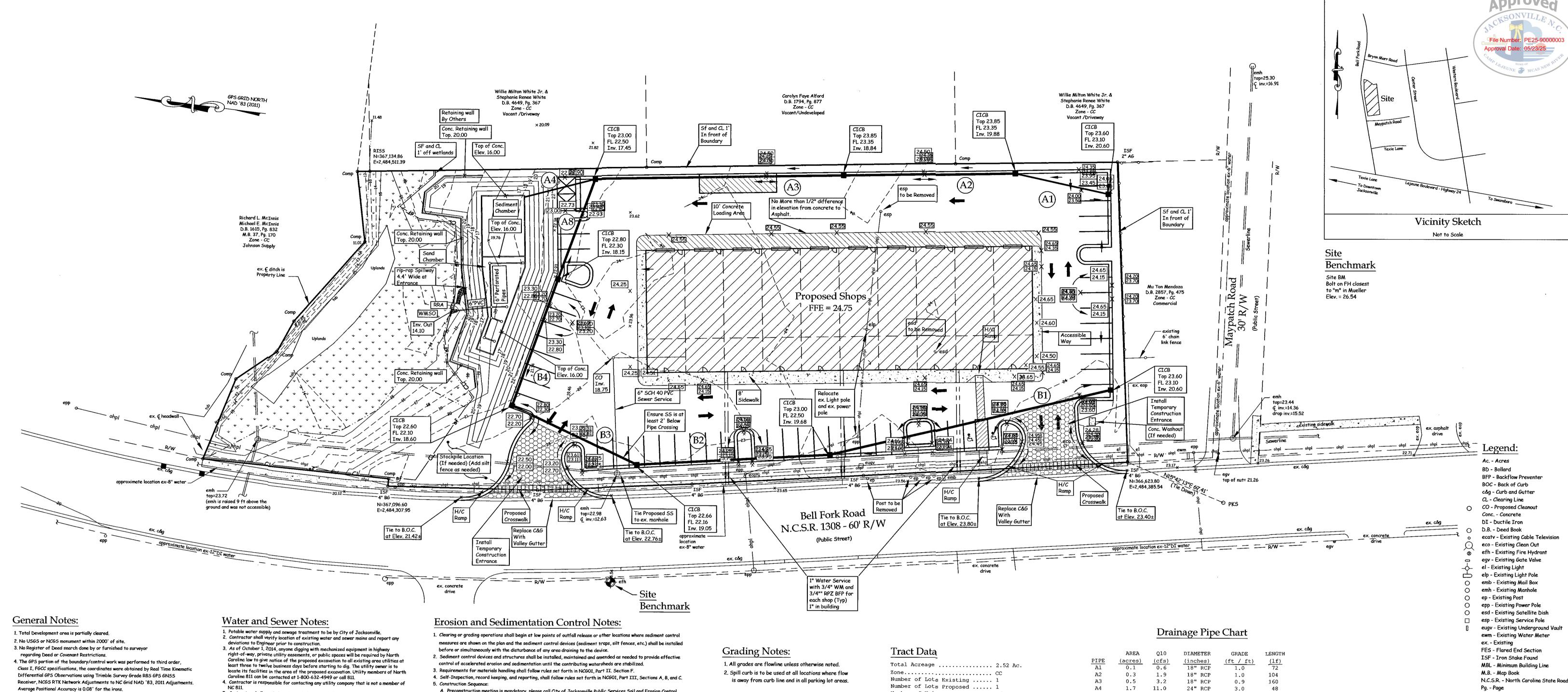
Filename: Bell Fork Road Shop Site.dwg SWB

Job No.: S200727-7445

Sheet 3 of 8

P.O. Box 976 - 306 New Bridge Street - 28540 Phone (910) 455-2414 - www.TidewaterENC.com Firm License Number: F-0108





- 5. All distances are horizontal ground, U.S. survey feet.
- 6. Elevation Per Datum NAVD '88.
- 7. The existence of utilities may imply the existence of an easement. 8. Water line and sewer line locations and sizes per field locations
- and plans from City of Jacksonville Public Utilities. 9. There are no Areas of Environmental Concern (AEC) as defined by
- Coastal Area Management Act (CAMA) on this site 10. It shall be unlawful for any person to make any excavation or do any other work which may cause a dangerous condition in or on any street, alley, sidewalk, public way or public place in the city, unless a written permit
- therefore shall have been first obtained from an officer of the city vested with authority to grant the same. No permit shall be issued in any case where a bond is required, until a bond shall have been executed.
- 11. This project is not affected by any special flood hazard area based upon FEMA map CPN 370178 4368J (City
- of Jacksonville). Effective November 3, 2005. 12. Boundary information and Topography shown is taken from survey by Parker & Associates, Inc. dated November 18, 2021
- and Computed Information. 13. Stormwater drains to a unnamed tributary to New River.

#### Note:

Contractor shall insure that he and all his workers (contractors, subcontractors and other site personnel) do not damage construction stakes or other measures used in laying out the project whether by the Engineer or another entity including those under the employ of the contractor. Contractor shall cause his workers to observe and verify to the fullest extent practicable that stakes, other measures and grades are, or appear to be, accurate and correct, and immediately, but prior to any associated work, notify the staking entity of any potential conflict. error or question regarding the work. The Engineer shall not be responsible if all of the above measures are not strictly adhered to. The Engineer shall not be responsible where due to damage, his staking can not be verified. For critical or costly components of the work, where the contractor believes that staking may not be preserved, the contractor shall request the staking entity to place staking in an area where its preservation can be insured.

- 5. Contractor shall verify location and elevation of all underground utilities prior to
- 6. Contractor is responsible for any damages to any existing utilities.
  7. All proposed sewer services shall be 4-inch or 6-inch Sch. 40 P.V.C. Glue joint pipe, or 8. All water mains 4" through 12" shall be AWWA C-900, Class 150. 2" water shall be
- ASTM D-2241, PVC 1120, SDR 21, 200 PSI pressure rating. 9. Fire hydrants to be Mueller Centurion, Darling Mark 73, or Clow F-2500 with 5 1/4" valve opening.

  10. Water mains shall be buried with minimum of 36-inches cover, unless otherwise noted. 11. Water mains and sewer mains shall have proper separations. At water and sewer crossings, the water main shall have 18 inches separation above the sewer main or they both shall be constructed of ferrous material for a minimum of 10 feet each side of the
- crossing. See specifications for further details. 12. Contractor to lay water mains at extra depth to avoid conflicts with storm drainage or other facilities 13. Contractor shall notify the City of Jacksonville Engineering Division at least 48 hours
- prior to commencing any work, inspections, sampling, and pressure tests. 14. Chlorination and pressure tests are required in the presence of the City of Jacksonville Engineering Division 15. Contractor shall obtain negative bacterial analysis results and 24 hour chlorine residual
- results from the City of Jacksonville and provide them to the Engineer. 16. Contractor shall maintain comprehensive (depth and horizontal locations) field "As Builts" for all installations and submit them to the Certifying Engineer and the City of Jacksonville. 17. All units shall have individual water and sewer services installed by the contractor. 18. For other detailed construction notes, see plan and profiles, other plan sheets, and
- 19. Water system, including fire hydrants, shall be installed, tested, and operable prior to house construction beginning. 20. No construction of either water or sewer mains is to begin prior to receipt of permits to construct from NCDENR in accordance with 15A NCAC18C,0305 (a) and
- Specifications, Standards, and Design. 22. Prior to commencing construction the contractor shall schedule a preconstruction conference with the City of Jacksonville at City Hall. 23. 20' Utility & Access Easement shall be Centered Over All Water & Sewer Mains & 10' Utility

21. All construction must be completed in accordance with the City of Jacksonville Manual of

& Access Easements to be Centered Over All Water Services up to & Including Water Meters & Sewer Clean-Outs

- A. Preconstruction meeting is mandatory, please call City of Jacksonville Public Services Soil and Erosion Control.
- B. Sediment control measures are required to be installed at the earliest practicable date after start of work. Grading operations shall begin at low points, points of outfall release or at other locations of where sediment control measures are shown on plan; and the sediment control devices (sediment traps, silt fences, diversions storm water treatment areas, etc.) shall be installed before or simultaneously with the grading of any area draining to the device.
- C. Limits of clearing will be as shown. Owner may lessen the amount to clear, Confirm prior to start of work. Silt fence shall be installed at the down slope edge of clearing immediately after a lot is cleared. Silt fence shall be maintained until the lot is stabilized completely. Silt fences are shown based on topographic information in the locations expected to be needed to trap sediment prior to entering down slope areas. Actual locations of installation shall be adjusted to the actual physical on site topography. That is, where silt fence is not shown on the plan but the actual topography reflects a downward slope, silt fence shall be installed. Where the actual topography reflects an upward slope silt fence is not required.
- D. Install stabilized construction entrance prior to beginning construction. E. Clear and grub street right-of-way and 120' beyond right-of-way on each side. Clear and grub drainage easements. Haul off all cleared debris. No burning allowed. . Install silt fence where shown immediately after clearing. Rough grade and temporary seed lots if not to be disturbed
- 6. Construct drainage swales. Immediately construct sediment traps and rock check dams where shown. Within 14 days, temporary seed swales if not in final condition or permanent seed and install swale liners, if in final condition, H. Strip and stockpile topsoil for later use. Rough grade street and muck and fill existing ditches. I. Temporary seed any areas that are not to be disturbed within 14 days.
- J. Install water and sewer mains, K Install storm drainage piping and install rip rap aprons. L. Fine grade street. Place CABC over compacted subgrade, and install concrete curb & gutter and outlet chutes. Install asphalt surface course.
- M. Contractor must conduct and pass a proof roll test, on the subgrade prior to installing stone, and on the stone prior to installing curb & gutter and / or asphalt. The proof roll tests shall be conducted in the presence of a City of Jacksonville Construction Inspector. N. Fine grade lots. TOB Max elevations are provided to constrain swales within the drainage easements. See typical lot
- O. Seed, fertilize, and mulch all disturbed areas within 14 days of completing any phase of the grading work. Apply temporary seeding if area is to be disturbed again and permanent if areas have been final graded and accepted by engineer and owner. P. Wetland crossings: initial disturbance of these areas shall be limited to only that area minimally needed to allow passage of construction equipment to prepare for the installation of the crossing and to execute upland construction on the opposing
- side of the crossing. Grubbing or land disturbance of the subject area shall not be performed until the culverts, backfill material, erosion and sediment control materials or devices sufficient to substantially complete the construction and stabilization of the crossing are staged or stockpiled at the location. Due consideration shall be given to impending inclement weather conditions that may adversely affect the completion of the crossing in the shortest time practicable. Seeding Specifications:
- Apply lime and fertilizer and work into seed bed, seed mixture shall be distributed uniformly and covered with a clean straw mulch. Mulch shall be crimped or tacked to help hold in place. See Detail sheet for material and application rates. 7. Contractor is responsible for maintaining all erosion control measures and shall amend measures as required to prevent accelerated erosion from taking place on this site, until site is restabilized and accepted by City of Jacksonville, engineer
- grade, grass, mulch, and restabilize the areas. 9. Once contractor has completed job and site is restabilized, the developer shall be responsible to maintain the restabilized areas until time when the lots are sold to individual lot owners.

8. Upon restabilization of all disturbed areas and swales, contractor shall remove all temporary erosion control facilities and

#### Maintenance Plan:

- 1. All erosion and sedimentation control devices shall be checked for stability and operation following every runoff-producing rainfall event and in no case less than once every week. Any needed repairs will be made immediately to maintain all devices in the operating conditions intended.
- 2. Sediment shall be removed from behind silt fence when it accumulates to a depth of six inches. 3. Sediment shall be removed from the inlet protection devices when storage capacity has been approximately
- 50% filled. 4. Any sediment tracked onto adjacent pavement shall be removed immediately.
- 5. A maintenance log of all erosion control inspections and maintenance performed shall be kept onsite at all times. 6. Any sedimentation that occurs into the offsite stormwater drainage network shall be removed immediately to prevent the stormwater device from sediment accumulation. Any sediment in wetlands needs to be done by hand,
- no mechanical means. 7. All catch basins to be installed with the inlet protection. 8. Maintain temporary construction entrance in a condition to prevent mud or sediment from leaving the site. 9. Install erosion control measures along downstream existing

existing drainage system.

catch basins as necessary to prevent sediment entering

Number of Units ..... N/A Minimum Lot Size Allowed .... N/A Average Lot Size ...... N/A Ownership Status ..... N/A Type of Units ...... N/A Density ...... N/A Proposed Use(s)......Commercial Existing Use(s)...... Commercial Water Service ...... City of Jacksonville Sewer Service ...... City of Jacksonville

Tax Map 347C, Parcel 10: PIN 4386104664950 Deed Book 5288, Pg. 536 Map Book 54, Pg. 67

	AREA	Q10	DIAMETER	GRADE	LENGTH
PIPE	(acres)	(cfs)	(inches)	(ft / ft)	<u>(1f)</u>
A1	0.1	0.6	18" RCP	1.0	72
A2	0.3	1.9	18" RCP	1.0	104
<b>A</b> 3	0.5	3.2	18" RCP	0.9	160
<b>A4</b>	1.7	11.0	24" RCP	3.0	48
<b>A</b> 8	1.0	6.5	18" RCP	1.0	72
B1	0.1	0.6	18" RCP	0.5	184
B2	0.5	3.2	18" RCP	0.5	126
В3	0.6	3.9	18" RCP	0.5	88
B4	0.7	4.5	18" RCP	0.5	90
Q=CiA					

c = 0.9RCP = Reinforced Concrete Pipe CFS = Cubic Feet per Second tc=5 min. i10=7.20 in/hr.LF = Linear Feet FPS = Feet per Second

1. Contractor shall use invert elevations shown on plans for construction. Grades shown above are rounded.



---- -- -- Ex. Ditch

[ ] - Distance to Reference Iron

PKS - PK Nail Set

[] WM - Proposed Water Meter

R/W - Right of Way

RRA - Riprap Apron

S.F. - Square Feet

ss - Sewer Service

tob - Top of Bank

sf - Silt Fence

RPZ - Reduced Pressure Zone

RISS - Reference Iron Stake Set

WMSO - Wire Mesh Stone Outlet

Grading, Drainage, Erosion & Sedimentation Control Water and Sewer Plan

## **BELL FORK SHOPS**

823 Bell Fork Road Jacksonville Twp., Onslow Co., North Carolina

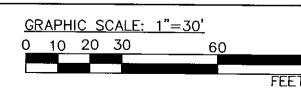
Owner/Developer:

LLOMEL, INC. 10520 Ligon Mill Road, Suite 104 Wake Forest, N.C. 27588

(919) 810-0833

DATE: 11/18/2020

SCALE: 1"=30"



TIDEWATER ASSOCIATES, INC.

Firm License Number: F-0108

Consulting Engineers - Land Surveyors - Land Planners Jacksonville, North Carolina P.O. Box 976 - 306 New Bridge Street - 28540 Phone (910) 455-2414 - www.TidewaterENC.com



Field Book: Misc #182, Pg. 1-4 Disk Name: ACAD #2950 Filename: Bell Fork Road Shop Site.dwg SWB

Sheet 4 of 8

Rev. 04/29/2025 KHW - Add existing spot elevations Rev. 04/15/2025 KHW - Enlarge sidewalk; add note at rear loading zone

Rev. 7/7/2021 SWB - Add notes, WMSO and move Concrete Washout, add Erosion & Sedimentation Control to title. Rev. 6/17/2021 SWB - Plot for Signature Rev. 6/7/2021 SWB - Change ex 6" water to 8", added elevations and flow arrows to entrance. Take off bearings and distances.

Rev. 01/28/2025 KHW - Revise building and remove loading dock Rev. 9/20/2021 JRK - Add notes, adjust symbols, adjust concrete walk per engineer, add spot elevations.

Rev. 7/20/2021 SWB - Add to note 6.

10. For additional information, see specifications and other plans. 11. For erosion control details, see sheet 13 of 13.

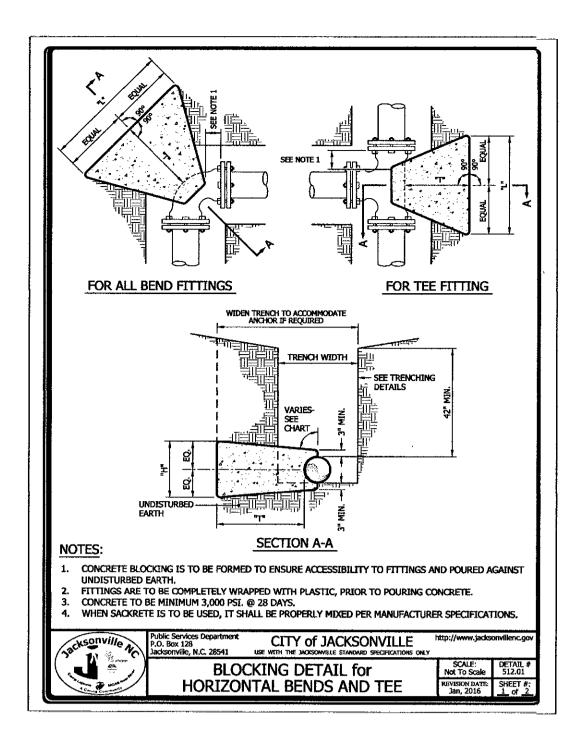
grading detail for more information.

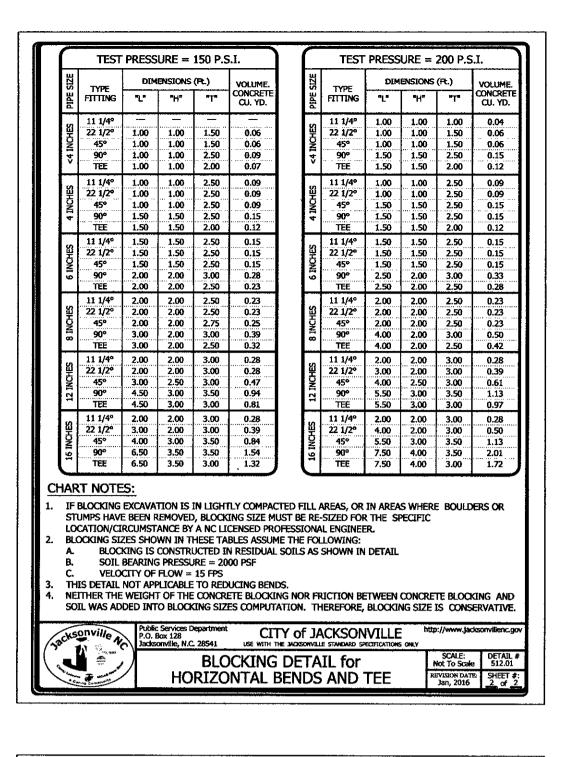
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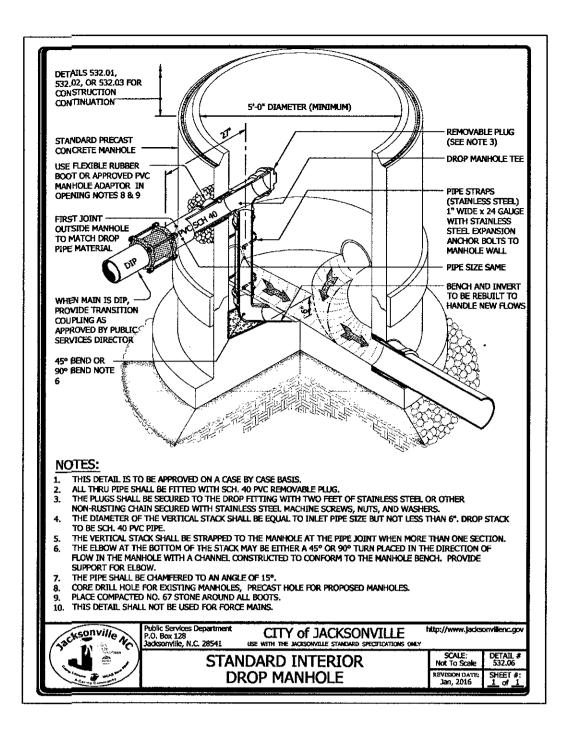
Rev. 6/17/2021 SWB - Plot for Signature Rev. 6/7/2021 SWB - Added Sand filter Details.

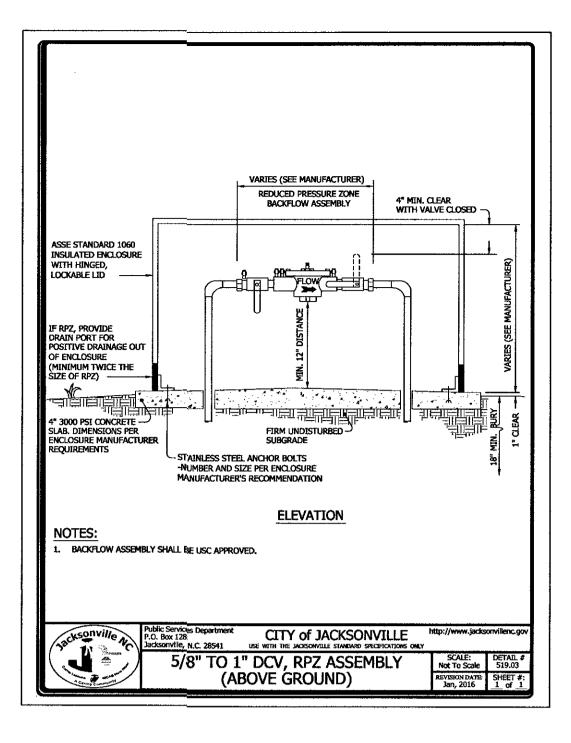
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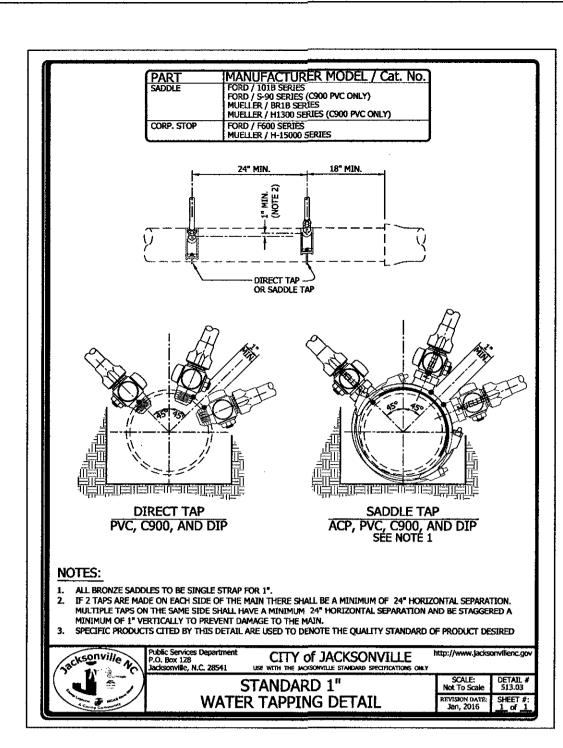
Sheet 5 of 8

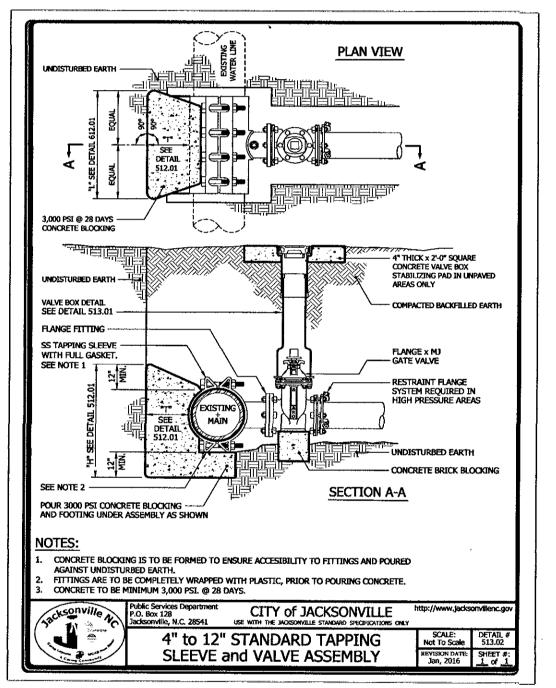


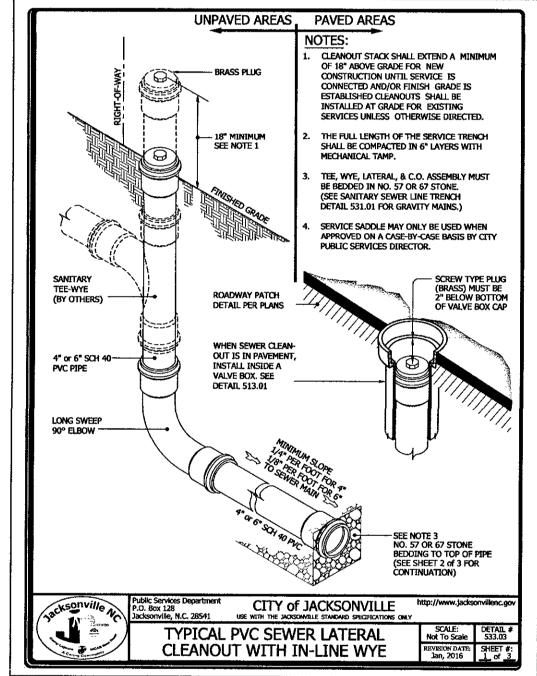


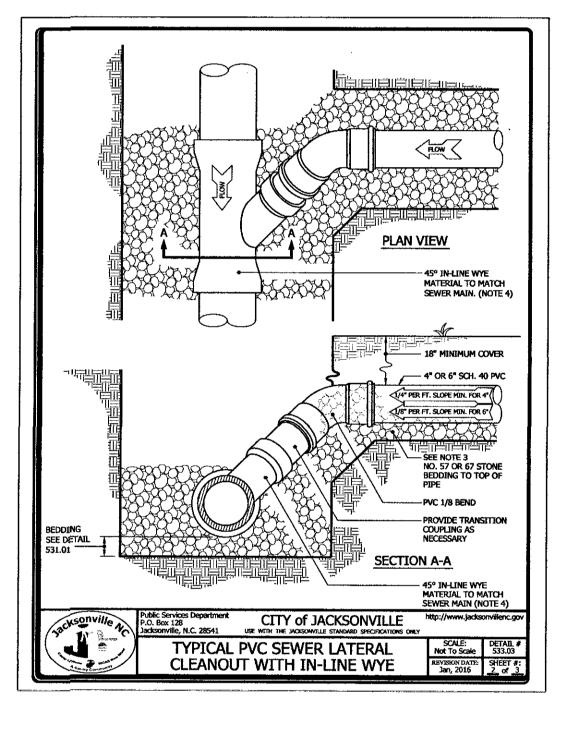


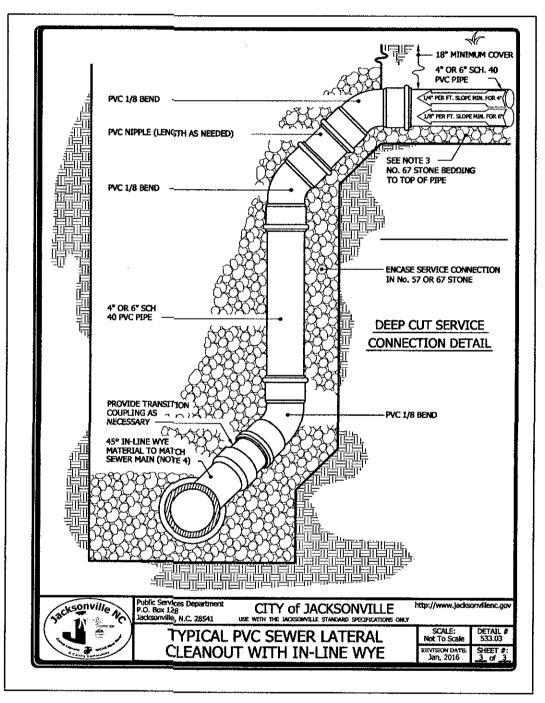


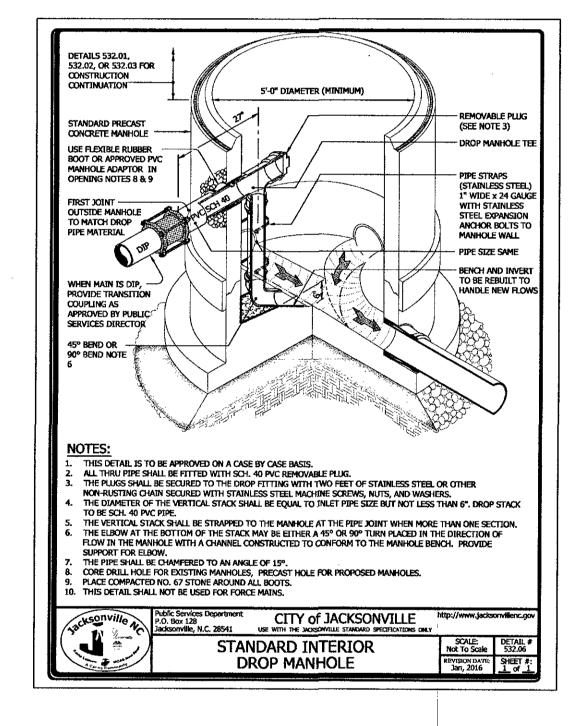


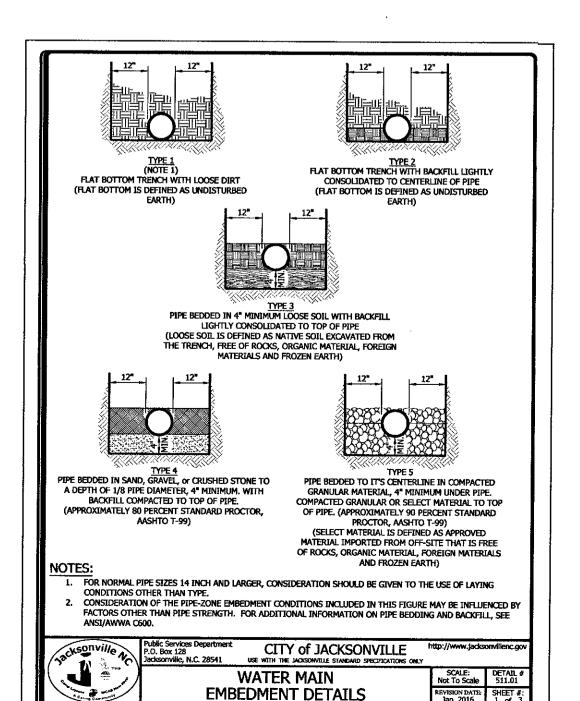


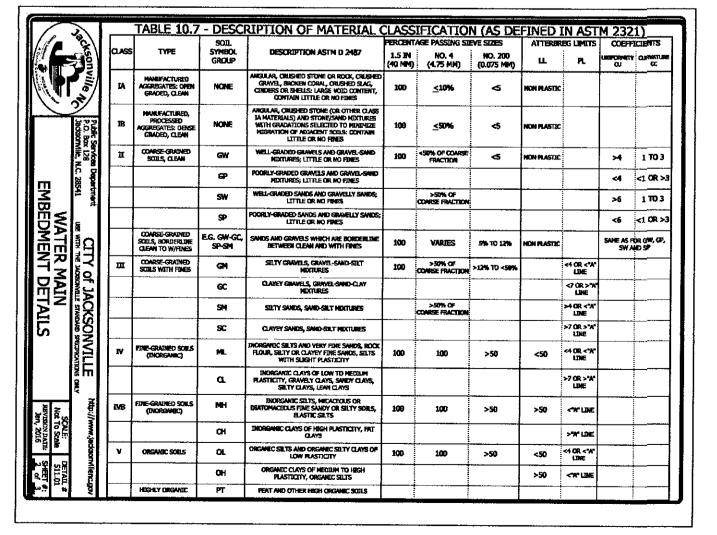












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			CLASS IA	CLASS IB	CLASS II	CLASS III	CLASS IV-A
Public Services Department CITY of JACKSONVILLE P.O. Box 128 Jacksonnille, N.C. 28541 USE WITH THE JACKSONILLE STANDARD SECURICATIONS OUT  WATER MAIN  EMBEDMENT DETAILS	GENERAL RECOMMENDATIONS AND RESTRICTIONS	DO NOT USE WHERE CONDITIONS MAY CAUSE MIGRATION OF FIRST SROM ADJACENT SOIL AND LOSS OF PIPE SUPPORT. SUITABLE FOR USE AS A DRAINAGE BLANKET AND UNDEDORAUM IN MOCO CUT'S WHERE ADJACENT MATERIAL IS SUITABLY GRADED.	PROCESS MATERIALS AS REQUIRED TO OBTAIN GRADATION WHICH WILL MIMERIZE MIGRATION OF ADJACENT MATERIALS. SUITABLE FOR USE AS DRADBAGE BLANKET AND UNDERDRAIN.	WHERE HYDRAULIC GRADIENT EXISTS CHECK GRADIATION TO HIBMINZE MIGRATION. "CLEAN" GROUPS SLITABLE POR USE AS DRAUMAGE BLANKET AND LINDERDRAIM.	DO NOT USE WHERE WATER CONDITIONS IN TRENCH MAY CAUSE INSTABILITY.	OBTAIN GESTECHNICAL EVALIATION OF PROPOSED MATERIAL MAY NOT BE SUTTABLE UNDER HEARY FILLS, SURFACE APPLIED WHE LOADS AND UNDER HEARY VIBBATORY COMPACTORS AN TAMPERS. DO NOT USE WHEE WATER CONDITIONS IN TREM MAY COUNSE INSTABILITY.	
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**Water and Sewer Detail Sheet** 

### BELL FORK SHOPS

823 Bell Fork Road

Jacksonville Twp., Onslow Co., North Carolina

Owner/Developer:

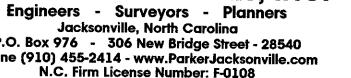
LLOMEL, INC. 10520 Ligon Mill Road, Suite 104 Wake Forest, N.C. 27588 (919) 810-0833

DATE: 11/18/2020

**SCALE: Not To Scale** 

#### PARKER & ASSOCIATES, INC.

Jacksonville, North Carolina P.O. Box 976 - 306 New Bridge Street - 28540 Phone (910) 455-2414 - www.ParkerJacksonville.com

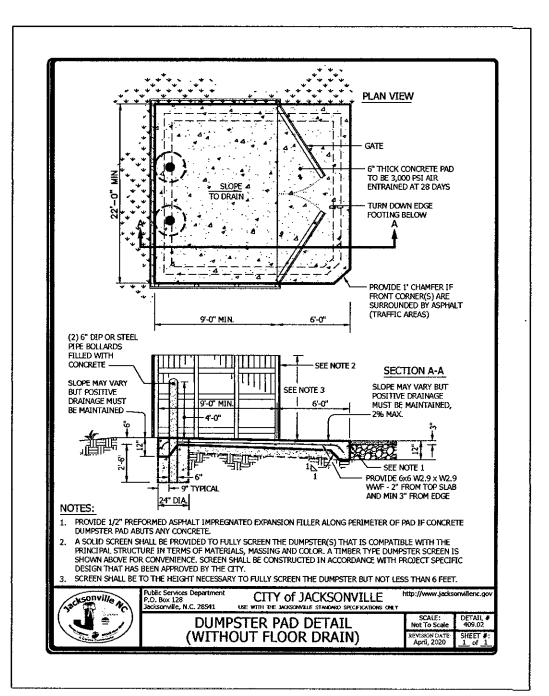


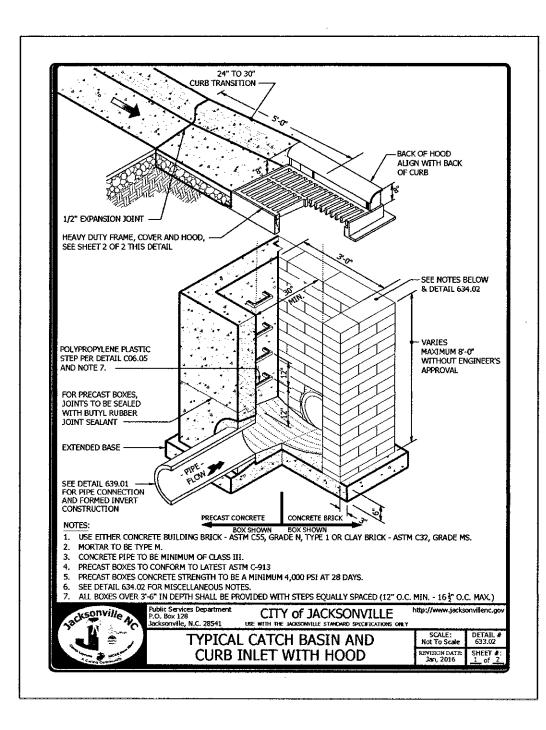
Field Book: Misc #182, Pg. 1-4

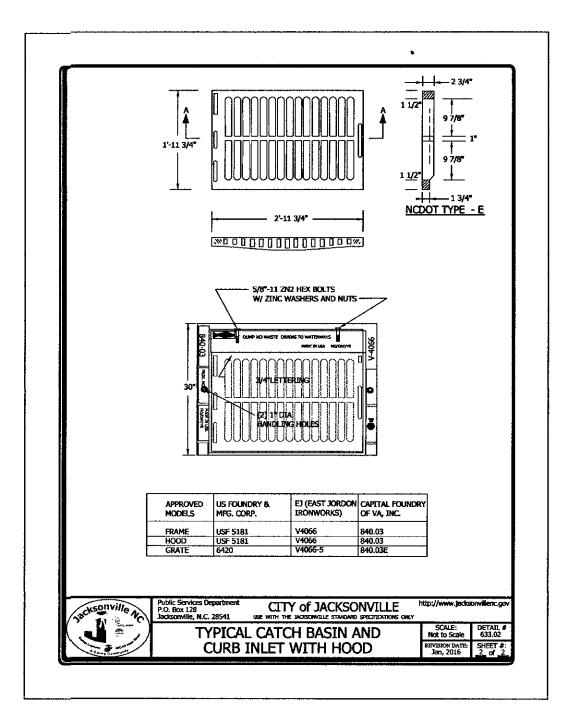
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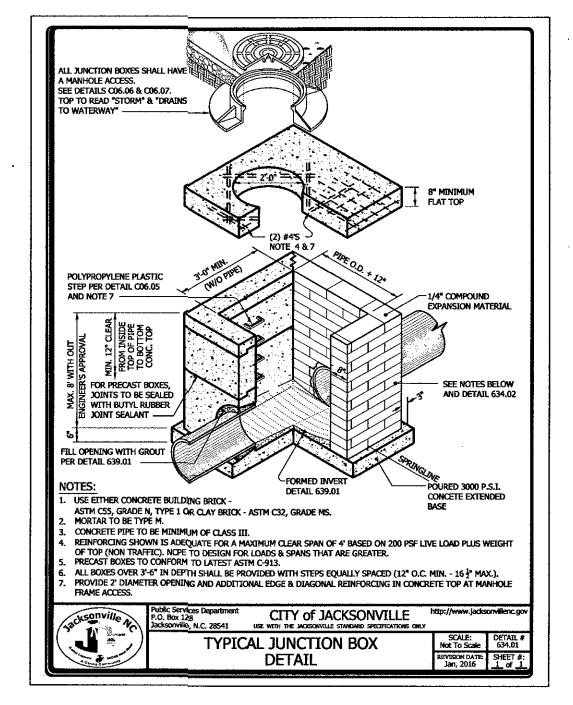
Disk Name: ACAD #2950

Job No.: S200727-7445









Existing Road

Plan View

**Temporary Stabilized Construction Entrance** 

Not to Scale

5. Install filter fabric under entire footprint of the construction entrance. 6. Washing - When necessary, wheels shall be cleaned to remove

sediment prior to entrance onto public right-of-way. When

gravel, boards or other approved methods.

7. Maintenance – The entrance shall be maintained in a condition

which will prevent tracking or flowing of sediment onto public

rights-of-way. This may require periodic top dressing with

additional stone as conditions demand and repair and / or

washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch, or watercourse through use of sandbags

Construction Specifications

4. Width - Not less than full width of all points of ingress or

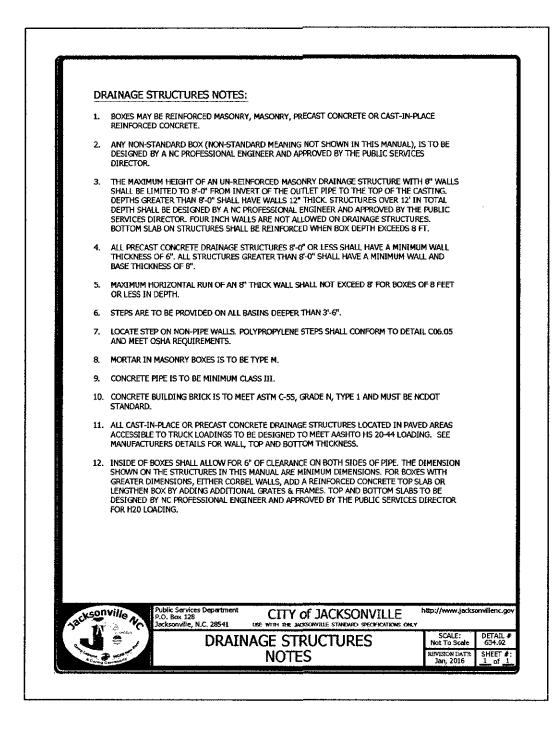
Aggregate size - Use 2-3 inch washed stone
 Length - As effective, but not less than 50 feet.

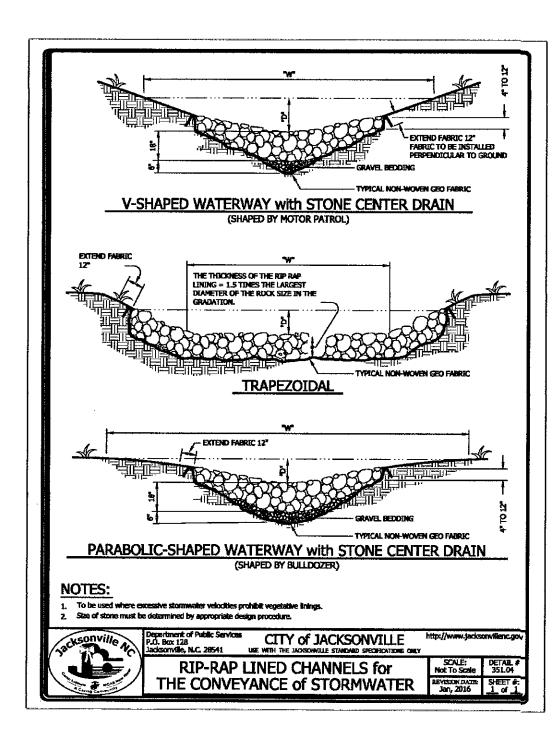
3. Thickness - Not less than six (6) inches.

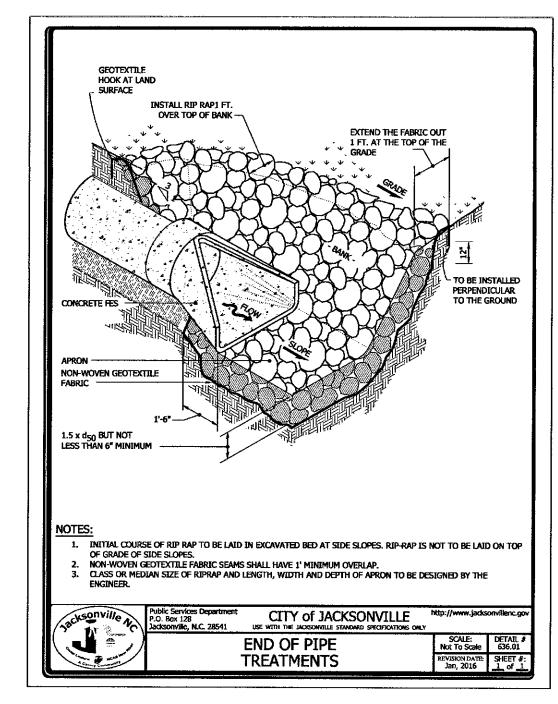
egress. Minimum of 12'.

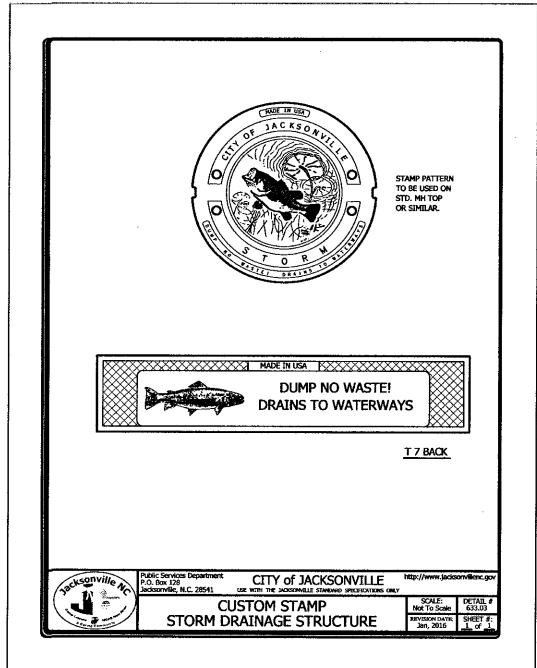
R/W

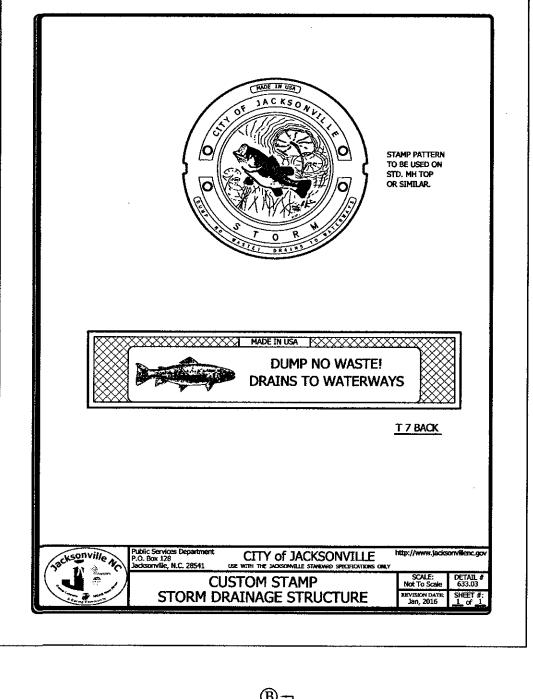
Construction Entrance Profile

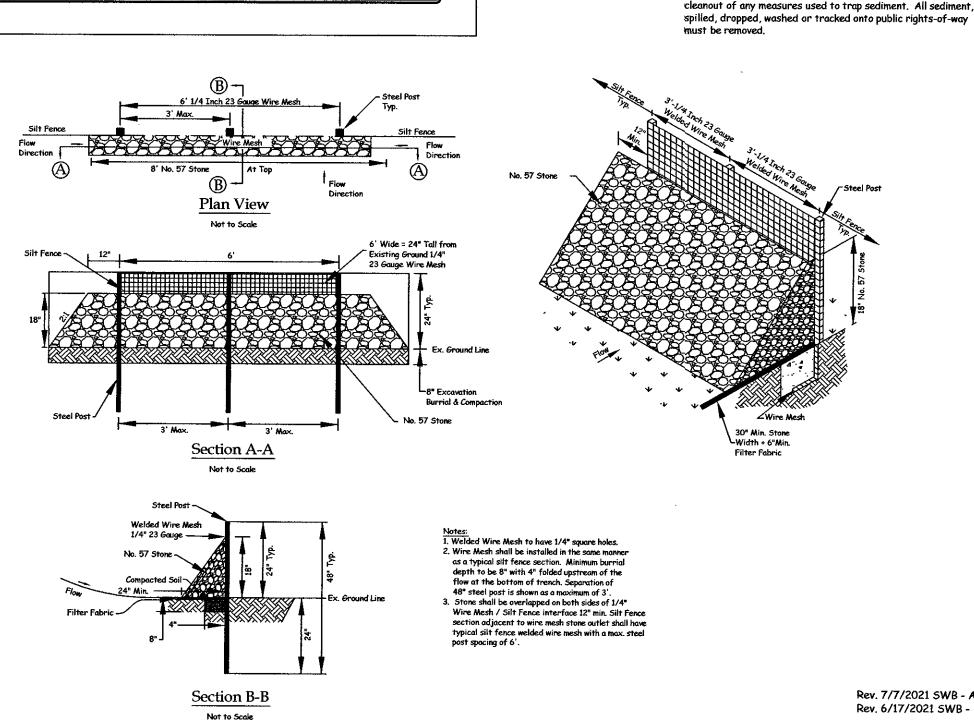


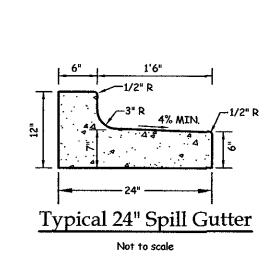




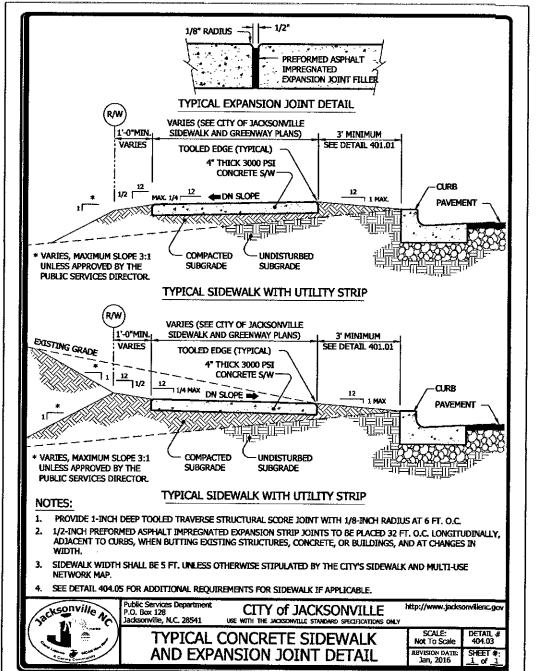


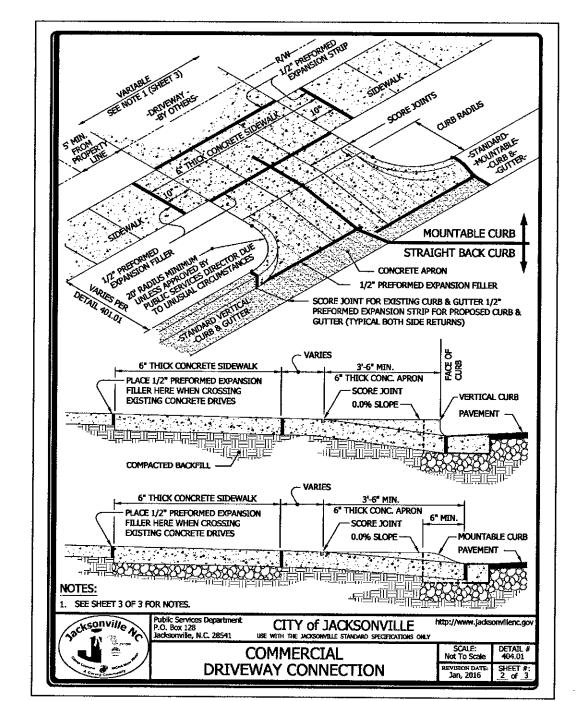


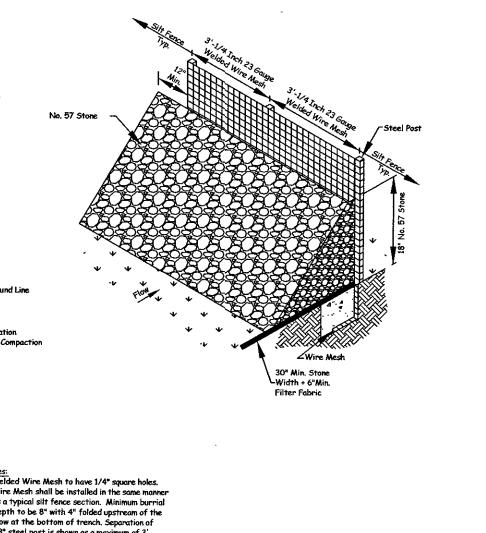




Note:
Spill gutter to be installed everywhere flow goes away from curb.







Wire Mesh Stone Outlet Not to Scale

Rev. 7/7/2021 SWB - Added WMSO detail Rev. 6/17/2021 SWB - Plot for Signature

Field Book: Misc #182, Pg. 1-4 Disk Name: ACAD #2950 Filename: Bell Fork Shops Details.dwg Swb Job No.: \$200727-7445



Grading, Drainage, **Erosion and Sedimentation Detail Sheet** 

## BELL FORK SHOPS

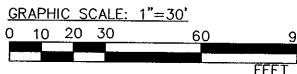
823 Bell Fork Road Jacksonville Twp., Onslow Co., North Carolina

Owner/Developer:

SCALE: 1"=30"

LLOMEL, INC. 10520 Ligon Mill Road, Suite 104 Wake Forest, N.C. 27588 (919) 810-0833

DATE: 11/18/2020

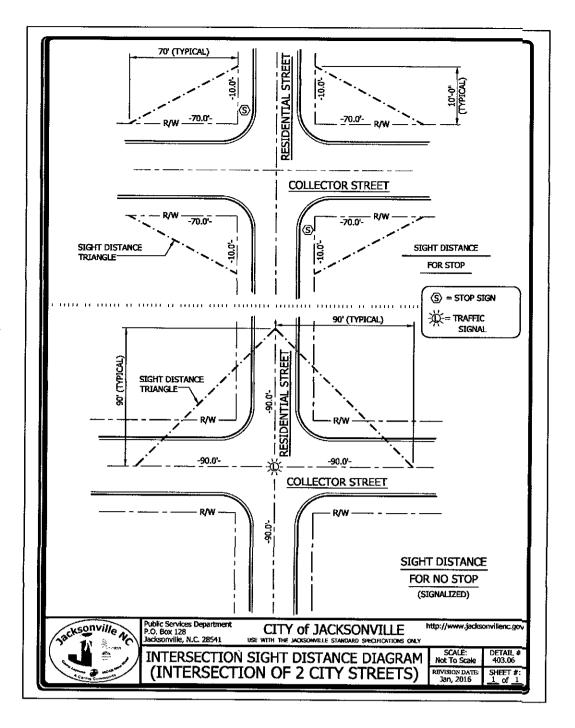


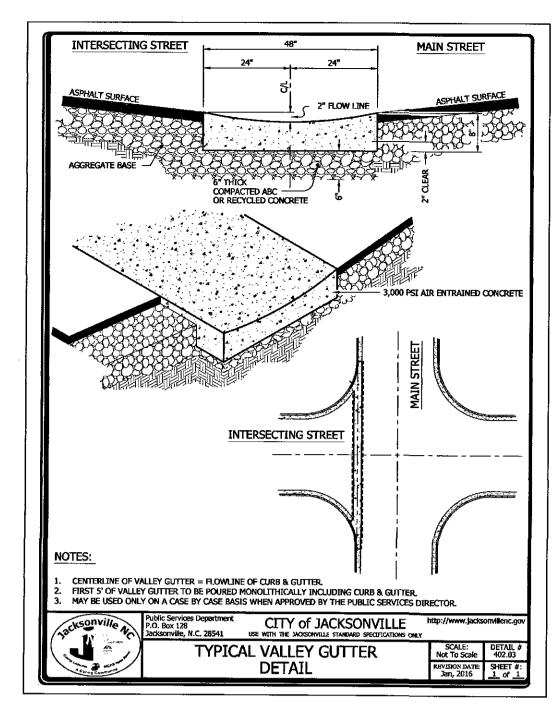
PARKER & ASSOCIATES, INC.

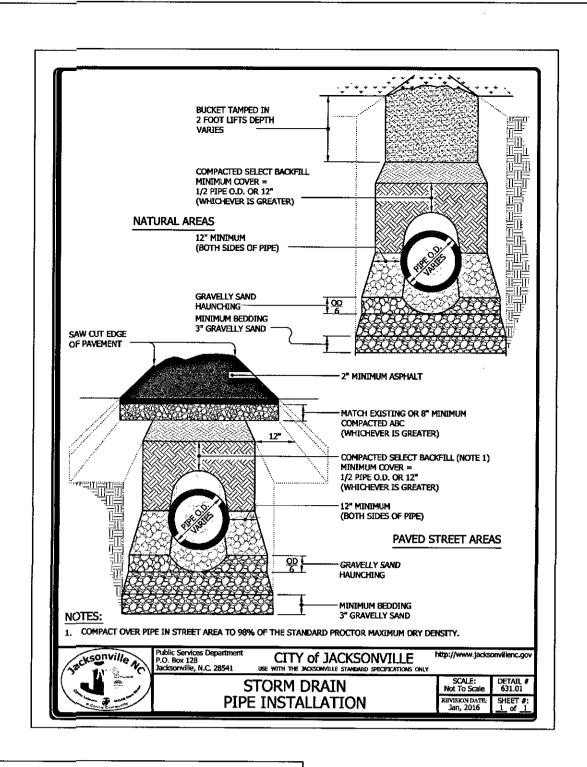
Engineers - Surveyors - Planners Jacksonville, North Carolina P.O. Box 976 - 306 New Bridge Street - 28540 Phone (910) 455-2414 - www.ParkerJacksonville.com N.C. Firm License Number: F-0108

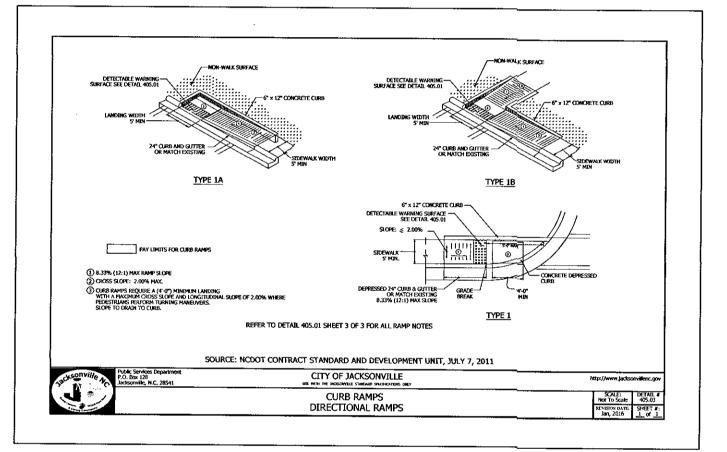


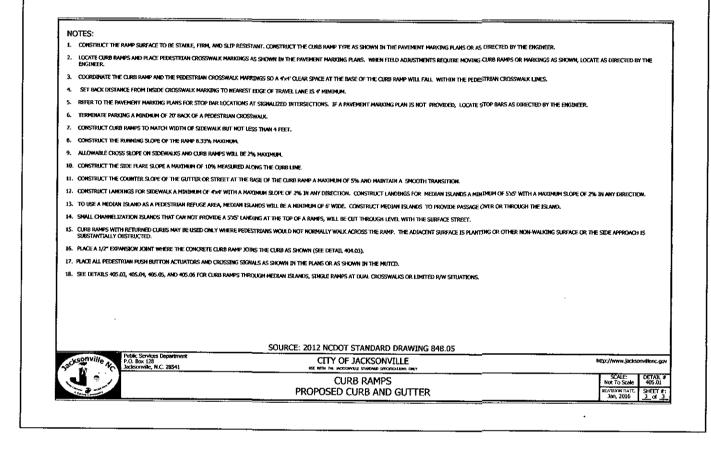
Sheet 7 of 8

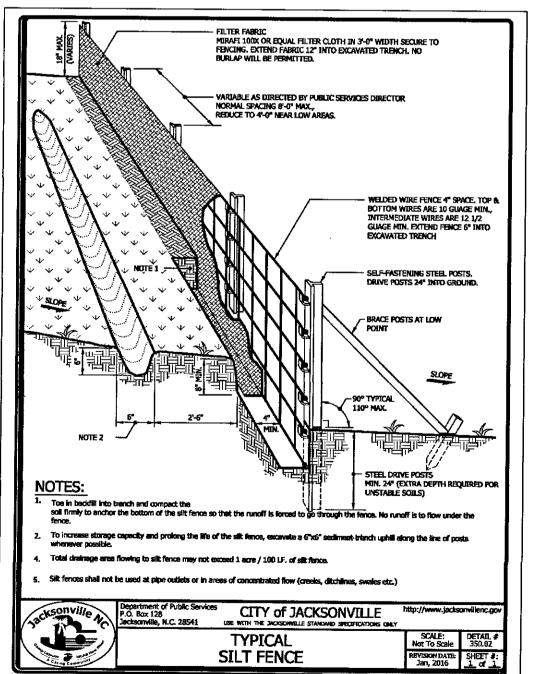












Rev. 05/22/2025 KHW - Replot for signature

Rev. 04/15/2025 KHW - Add dumpster details

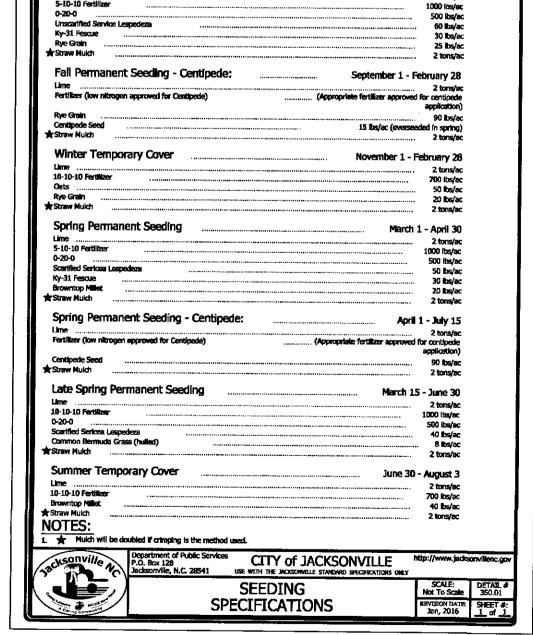
Rev. 6/17/2021 SWB - Plot for Signature

Rev. 01/28/2025 KHW - Add modification note

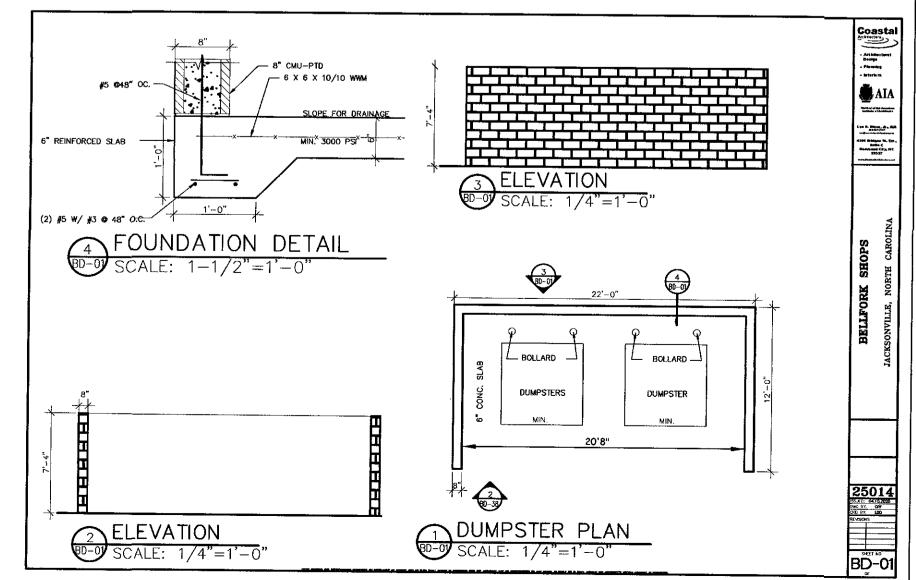
Rev. 7/7/2021 SWB - Added Seed Specification Sheet

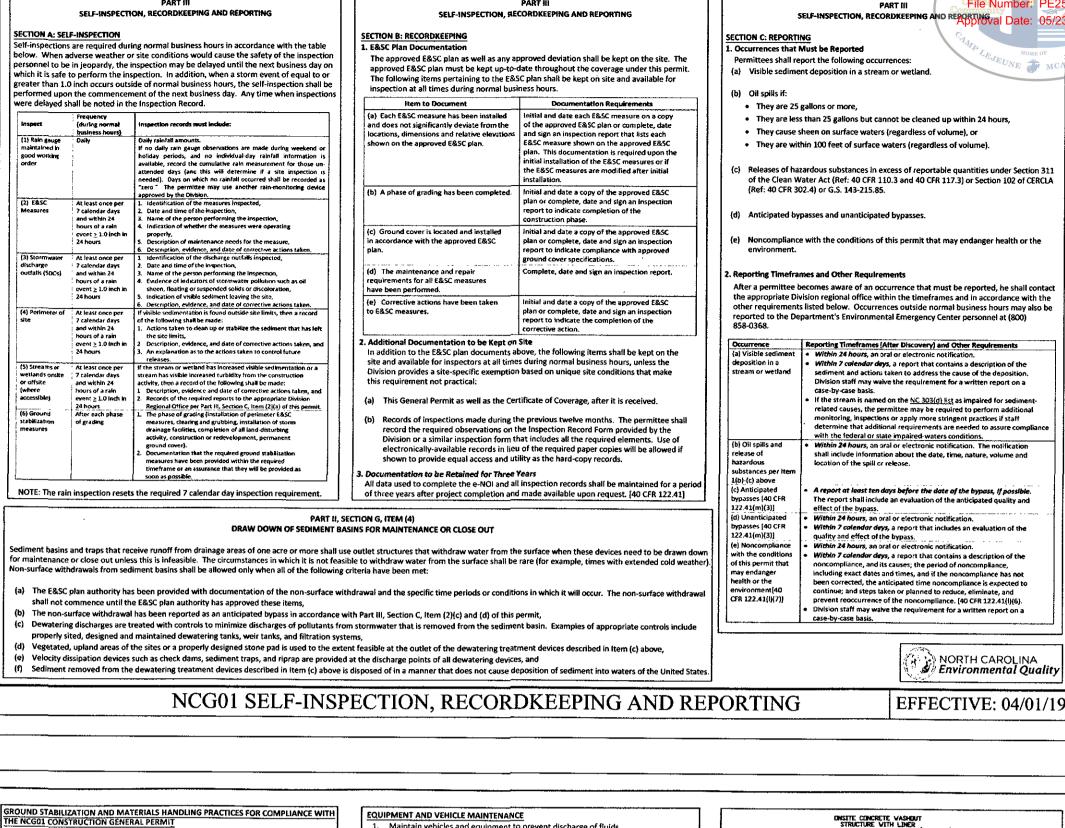
Rev. 04/29/2025 KHW - Add dimension for dumpster opening, remove modification note

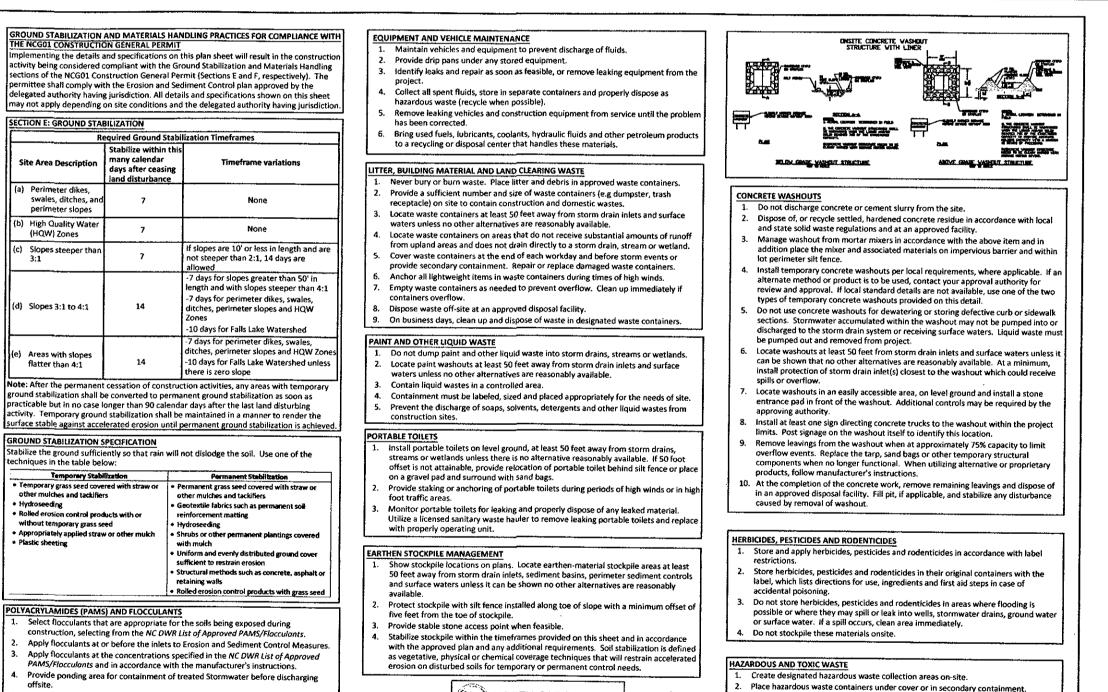
Rev. 4/21/2021 SWB - added Handicap Ramp, Silt Fence, Storm Drain Pipe Installation, Valley Gutter, and Intersection Sight Distance Details.



5-10-10 Fertilizer







Grading, Drainage, **Erosion and Sedimentation Detail Sheet** 

# **BELL FORK SHOPS**

823 Bell Fork Road Jacksonville Twp., Onslow Co., North Carolina

Owner/Developer:

NORTH CAROLINA
Environmental Quality

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

LLOMEL, INC.

10520 Ligon Mill Road, Suite 104 Wake Forest, N.C. 27588 (919) 810-0833

DATE: 11/18/2020

SCALE: 1"=30'

GRAPHIC SCALE: 1"=30'

TIDEWATER ASSOCIATES, INC.

Consulting Engineers - Land Surveyors - Land Planners Jacksonville, North Carolina P.O. Box 976 - 306 New Bridge Street - 28540 Phone (910) 455-2414 - www.TidewaterENC.com Firm License Number: F-0108

Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19

Store flocculants in leak-proof containers that are kept under storm-resistant cove

or surrounded by secondary containment structures.

Field Book: Misc #182, Pg. 1-4 Filename: Bell Fork Shops Details.dwg Swit

Disk Name: ACAD #2950 Job No.: \$200727-7445

Sheet 8 of 8